



# The Villages®

## ENGINEERING PLANS FOR THE VILLAGES OF SUMTER UNIT NO. 176

DATE	ISSUE	BY
-	-	-

### LEGAL DESCRIPTION

A PARCEL OF LAND BEING PORTIONS OF SECTION 1 AND 2, TOWNSHIP 19 SOUTH, RANGE 23 EAST SUMTER COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 1; THENCE 500°28'41"W, ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 474.08 FEET TO THE POINT OF BEGINNING; THENCE N68°52'57"E, 89.15 FEET; THENCE S71°33'55"E, 490.96 FEET; THENCE S48°28'04"E, 378.86 FEET; THENCE N88°17'40"E, 238.18 FEET; THENCE S10°58'22"E, 221.60 FEET; THENCE S13°47'20"E, 60.00 FEET; THENCE S23°42'16"E, 184.81 FEET; THENCE S25°20'52"E, 66.73 FEET; THENCE S26°05'10"E, 102.49 FEET; THENCE S18°27'10"E, 58.25 FEET; THENCE S12°37'51"E, 57.61 FEET; THENCE S00°24'01"W, 129.81 FEET; THENCE S84°05'50"W, 90.89 FEET; THENCE N76°09'38"W, 530.75 FEET; THENCE S16°07'09"W, 236.01 FEET; THENCE N79°03'13"W, 91.37 FEET; THENCE S16°07'09"W, 42.31 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE EAST AND HAVING A RADIUS OF 125.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 11°33'15", AN ARC DISTANCE OF 146.20 FEET; THENCE S04°33'54"W, 38.36 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEAST AND HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 88°44'32", AN ARC DISTANCE OF 30.98 FEET TO A POINT OF CUSP ON THE ARC OF A CURVE CONCAVE SOUTH, HAVING A RADIUS OF 2,030.00 FEET AND A CHORD BEARING AND DISTANCE OF S85°45'12"W, 109.87 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 20°08'21", AN ARC DISTANCE OF 713.54 FEET; THENCE N17°35'32"W, 267.77 FEET; THENCE N15°22'07"W, 59.26 FEET; THENCE N11°32'18"W, 59.26 FEET; THENCE N07°41'44"W, 59.26 FEET; THENCE N03°51'20"W, 59.26 FEET; THENCE N00°53'31"W, 60.04 FEET; THENCE N00°41'40"W, 60.00 FEET; THENCE N00°27'19"E, 60.35 FEET; THENCE N03°08'24"E, 69.44 FEET; THENCE N06°00'54"E, 69.44 FEET; THENCE N07°33'16"E, 59.98 FEET; THENCE N07°33'24"E, 165.93 FEET; THENCE N11°17'50"E, 209.30 FEET; THENCE N21°07'03"W, 210.99 FEET; THENCE N68°52'57"E, 309.80 FEET TO THE POINT OF BEGINNING.

**OWNER/DEVELOPER:**  
THE VILLAGES OF LAKE-SUMTER, INC.  
990 OLD MILL RUN  
VILLAGES, FL. 32162  
JOHN R. GRANT, VICE PRESIDENT

**ENGINEER/SURVEYOR:**  
FARNER, BARLEY AND ASSOCIATES, INC.  
4450 N.E. 83rd ROAD  
WILDWOOD, FL 34785  
JEFFREY A. HEAD, P.E.  
FLA. LIC. #58058

SECTIONS 1 + 2,  
TOWNSHIP 19 SOUTH, RANGE 23 EAST  
SUMTER COUNTY, FLORIDA

DESIGN SPEED 30 MPH



VICINITY MAP

### INDEX OF SHEETS

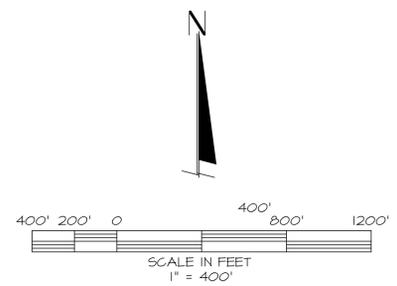
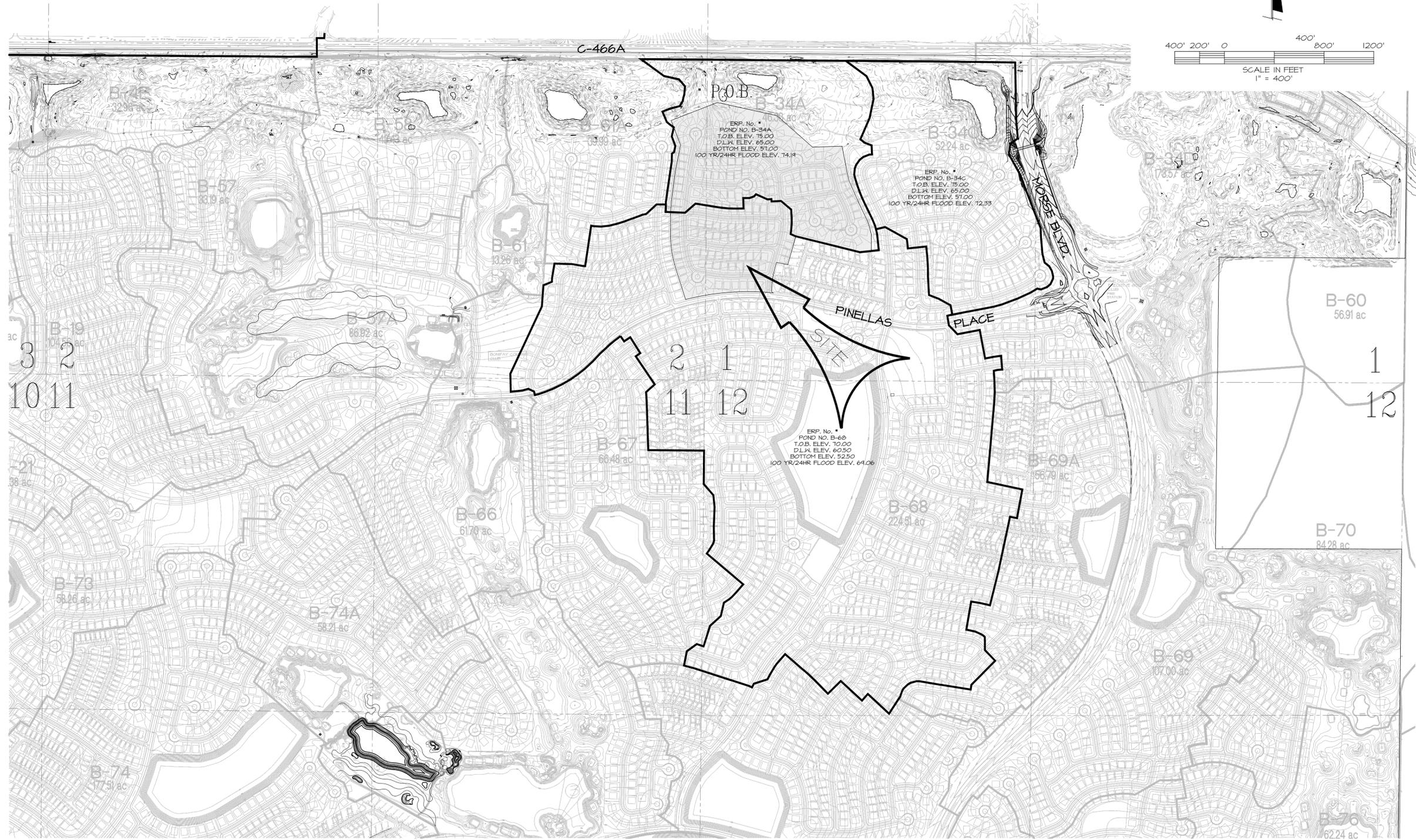
1. TITLE SHEET
2. MASTER DEVELOPMENT PLAN
3. SITE GEOMETRY, SIGNING & MARKING, & SHEET INDEX
4. STORM DRAINAGE MASTER PLAN
5. SANITARY SEWER MASTER PLAN
6. WATER DISTRIBUTION MASTER PLAN
7. IRRIGATION DISTRIBUTION MASTER PLAN
8. PLAN & PROFILE - ASHER PATH
9. PLAN & PROFILE - ASHER PATH
10. PLAN & PROFILE - ADRIENNE WAY
11. PLAN & PROFILE - ADRIENNE WAY
12. PLAN & PROFILE - JOURNEY LANE
13. PLAN & PROFILE - PICKETT ROAD
14. PLAN & PROFILE - NAVIN STREET
15. PLAN & PROFILE - BERNAY COURT
16. PLAN & PROFILE - NORLAND AVENUE
17. PLAN & PROFILE - BRADY COURT
18. PLAN & PROFILE - BRADY COURT
19. PLAN & PROFILE - KENT LANE
20. PLAN & PROFILE - DUKE TERRACE
21. MASTER GRADING PLAN
22. MASTER GRADING PLAN
23. MASTER GRADING PLAN
- EC-1. EROSION CONTROL PLAN
- UT-1. UTILITY TRENCHING PLAN

THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN "THE VILLAGES CONSTRUCTION DETAILS MANUAL, DATED MAY 1, 2009", PREPARED BY GRANT & DZURO, OR AS AMENDED BY THESE PLANS. (SWFWMD PERMIT #44024899.081)

NOTE: ELEVATIONS SHOWN WERE OBTAINED BY AERIAL PHOTO AND ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.

**FARNER BARLEY AND ASSOCIATES, INC.**  
▲ ENGINEERS  
▲ SURVEYORS  
▲ PLANNERS

CERTIFICATE OF AUTHORIZATION NUMBER: 4709  
4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126



DATE	3-30-10
DRAWN BY	JM
CHKD BY	JAH
FILE NAME	16-101
JOB NO.	9211411921
DATE	
REVISIONS	
BY	


**FARLEY AND ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS PLANNERS  
 Certificate of Authorization Number: 4709  
 4450 N.E. 83rd Road • Wilmette, Florida 34785 • (352) 748-3126

**The Villages**  
 VILLAGES OF SUMTER  
 UNIT No. 116  
 MASTER DEVELOPMENT PLAN

**SITE NOTES FOR UNIT 176**

OWNER-DEVELOPER - THE VILLAGES OF LAKE-SUMTER, INC.  
 990 OLD MILL RUN  
 THE VILLAGES, FLORIDA 32162

BUILDING SETBACKS = 0' SIDE YARD, 0' REAR YARD, 20' FRONT YARD.

STREET LIGHTING TO BE INSTALLED BY UTILITY COMPANY. SINGLE FIXTURE LIGHTS GENERALLY LOCATED AT INTERSECTION. CUL-DE-SAC # 4 ALONG THE ROADWAYS WITH AN APPROXIMATE SPACING BETWEEN LIGHTS BEING 300'.

LOCATED IN SECTIONS 1 & 2, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA.

NO LOTS ARE LOCATED WITHIN THE 100 YEAR FLOOD ZONE.

ALL STREETS TO BE CONSTRUCTED BY THE DEVELOPER AND MAINTAINED BY SUMTER COUNTY.

ALL STORM WATER MANAGEMENT FACILITIES TO BE CONSTRUCTED AND MAINTAINED BY VILLAGE COMMUNITY DEVELOPMENT DISTRICT NO. 9.

SITE DATA	
TOTAL ACRES	40.39 AC.
NUMBER OF UNITS	179
EXISTING ZONING	PUD
DENSITY (DU/AC)*	4.43 DU/AC
LENGTH OF ROADWAY INTERNAL TO UNIT	7554 L.F.
MINIMUM LOT DIMENSION	60' x 90'
WATER & SEWER SUPPLIED BY	C.S.U.
IRRIGATION SUPPLIED BY	SUMTER WATER CONSERVATION AUTHORITY
ELECTRIC SUPPLIED BY	S.E.C.O.

**EASEMENT LEGEND**

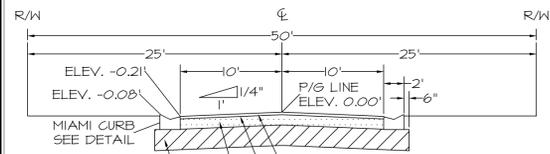
E.E. = INDICATES EMERGENCY EASEMENT FOR INGRESS AND EGRESS BY PROVIDERS OF FIRE, LAW ENFORCEMENT, AND EMERGENCY MEDICAL SERVICES, THEIR VEHICLES AND PERSONNEL.

S.E. = INDICATES SPECIAL EASEMENT FOR LANDSCAPING AND/OR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF WATER, SANITARY SEWER, ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITIES AND/OR DRAINAGE FACILITIES AND/OR WALL FENCING AND/OR GOLF CART PATHS.

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	11°33'15"	125.00'	146.20'	73.35'	145.95'	S10°20'32"W
C2	88°44'32"	20.00'	30.98'	19.51'	27.91'	S39°48'22"W
C3	20°08'21"	2030.00'	713.54'	360.44'	704.87'	S85°45'12"W

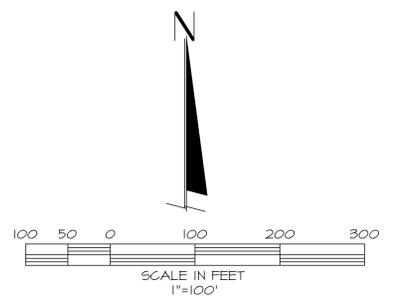
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N68°52'51"E	84.15'
L2	S13°47'20"E	60.00'
L3	S25°20'52"E	66.73'
L4	S26°05'10"E	102.44'
L5	S18°27'10"E	58.25'
L6	S12°37'51"E	57.61'
L7	S0°24'01"W	129.81'
L8	S84°05'50"W	90.89'
L9	N14°03'13"W	91.37'
L10	S16°07'04"W	42.31'
L11	S4°33'54"W	38.36'
L12	N15°22'07"W	54.26'
L13	N11°32'18"W	54.26'
L14	N7°41'44"W	54.26'
L15	N3°51'20"W	54.26'
L16	N0°53'31"W	60.04'
L17	N0°41'40"W	60.00'
L18	N0°27'19"E	60.35'
L19	N3°08'24"E	64.44'
L20	N6°00'54"E	64.44'
L21	N7°33'16"E	54.98'



NOTE: THIS SITE IS TO BE SEEDED AND MULCHED ONCE GRADED, AND SOD WILL THEN REPLACE THE SEED ONCE HOME CONSTRUCTION BEGINS.

1-1/4" TYPE III ASPHALT (MINIMUM)  
 BITUMINOUS PRIME COAT  
 6" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180  
 12" STABILIZED SUBGRADE WITH A MINIMUM L.B.R. OF 40, COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180

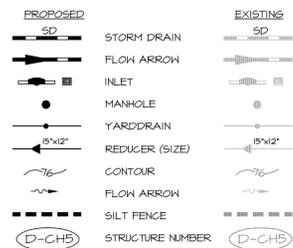
**TYPICAL SUBDIVISION ROADWAY**  
 50 FOOT RIGHT-OF-WAY  
 NO SCALE



DATE	10-27-10	REVISIONS	
BY	JAH	CHANGED NOTE	
<b>The Villages</b> <b>SITE GEOMETRY, SIGNING &amp; MARKING, INDEX OF SHEETS</b>			
Certificate of Authorization Number: 4709 4450 N.E. 63rd Road • Wilfredo, Florida 34785 • (352) 748-3126			
DATE	3-30-10	DRAWN BY	JM
		CHKD BY	JAH
		FILE NAME	16INDEX
		JOB NO.	9211411921
SHT. 3 OF 23			

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**STORM DRAIN LEGEND**



**STORM DRAIN PIPE SPECIFICATIONS**

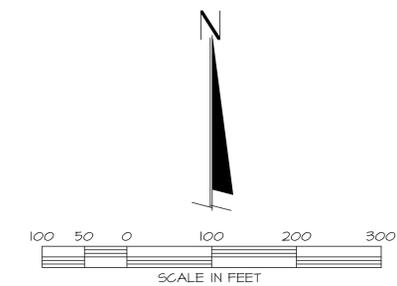
STORM DRAIN PIPE IS REQUIRED TO COMPLY WITH THE FOLLOWING STANDARDS:

1. ROAD CROSS-DRAIN PIPE.
  - A. ACCEPTABLE TYPES--REINFORCED CONCRETE, A2000, CORRUGATED ALUMINUM, HDPE OR OTHER FDOT APPROVED MATERIALS. PVC SHALL BE AS APPROVED IN THE 2009 EDITION OF THE FDOT STANDARD SPECIFICATIONS
  - B. MINIMUM SIZE--EIGHTEEN (18) INCHES DIAMETER OR EQUAL.
  - C. ENDWALL, INLET MANHOLE OR MITERED END SECTION WITH CONCRETE COLLAR REQUIRED AT EACH END.
2. ROADSIDE DRAIN PIPE.
  - A. ACCEPTABLE TYPES--REINFORCED CONCRETE, A2000, CORRUGATED ALUMINUM, HDPE OR OTHER FDOT APPROVED MATERIALS. PVC SHALL BE AS APPROVED IN THE 2009 EDITION OF THE FDOT STANDARD SPECIFICATIONS
  - B. MINIMUM SIZE--FIFTEEN (15) INCHES DIAMETER OR EQUAL.
3. STORM SEWER PIPE.
  - A. ACCEPTABLE TYPES--REINFORCED CONCRETE, A2000, CORRUGATED ALUMINUM, HDPE OR OTHER FDOT APPROVED MATERIALS. PVC SHALL BE AS APPROVED IN THE 2009 EDITION OF THE FDOT STANDARD SPECIFICATIONS
  - B. MINIMUM SIZE--EIGHTEEN (18) INCHES OR EQUAL.
  - C. INLET OR MANHOLE REQUIRED AT EACH CHANGE OF ALIGNMENT OR GRADE.
4. FINAL RECORD DRAWINGS WILL SPECIFY WHAT TYPE OF STORMPIPE MATERIAL WAS USED.

**NOTES:**

1. IF ADJACENT SYSTEMS ARE EXISTING, CONNECTION POINTS WILL BE EXISTING STRUCTURES WITH APPROPRIATE KNOCK-OUTS LEFT IN THEM.
2. IF ADJACENT SYSTEMS ARE NOT EXISTING, CONNECTING STRUCTURES WILL BE BUILT WITH THIS PROJECT AND APPROPRIATE KNOCK-OUTS FOR FUTURE CONNECTIONS WILL BE LEFT.

STORM TABLE			
STRUC#	RIM/GRATE	STRUC#	RIM/GRATE
D-176-1	84.92	D-176-55	77.78
D-176-2	84.85	D-176-56	78.17
D-176-3	82.04	D-176-57	78.18
D-176-4	82.27	D-176-58	78.60
D-176-5	77.71	D-176-59	78.40
D-176-6	77.71	D-176-60	78.40
D-176-7	77.12	D-176-60A	78.79
D-176-8	78.55	D-176-61	78.38
D-176-9	79.33	D-176-62	78.99
D-176-10	78.20	D-176-63	78.99
D-176-11	78.08	D-176-64	77.29
D-176-12	75.26	D-176-65	77.29
D-176-13	75.26	D-176-66	77.64
D-176-14	75.49	D-176-66A	77.77
D-176-15	80.37	D-176-67	78.31
D-176-16	80.65	D-176-70	82.81
D-176-17	76.54	D-176-71	82.15
D-176-18	74.12	D-176-72	83.16
D-176-19	74.69	D-176-73	83.16
D-176-20	74.09	D-176-74	85.75
D-176-21	74.09	D-176-75	84.73
D-176-22	74.12	D-176-76	84.86
D-176-23	74.12	D-176-77	84.20
D-176-24	75.09	D-176-78	83.37
D-176-26	74.63	D-176-79	83.38
D-176-20	73.96	D-176-80	80.68
D-176-19	73.96	D-176-81	78.00
D-176-60	78.29	D-176-82	77.64
D-176-51	77.34	D-176-83	77.64
D-176-51A	77.34	D-176-84	76.94
D-176-62	78.75	EXIST.	76.42
D-176-63	78.05	EXIST.	76.23
D-176-64	77.78		



DATE: \_\_\_\_\_

REVISIONS:

DATE: \_\_\_\_\_

DATE: 3-30-10

DRAWN BY: JIM

CHKD BY: JAH

FILE NAME: 16-5109

JOB NO. 9211411921

SHT. 4 OF 23

VILLAGES OF SUMTER UNIT 176

STORM DRAINAGE MASTER PLAN

ENGINEERS SURVEYORS AND PLANNERS

**FARNER BARLEY AND ASSOCIATES, INC.**

Certificate of Authorization Number: 4709

4450 N.E. 83rd Road • Wilfredo, Florida 34785 • (352) 748-3126

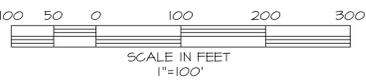
**CLEARANCE REQUIREMENTS**  
**POTABLE WATER/ SANITARY, STORM SEWER**  
**RECLAIMED WATER AND NON-POTABLE IRRIGATION PIPING**

**VERTICAL SEPARATION:** BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAIN, RECLAIMED WATER PIPELINES.

1. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
2. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
3. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS 1 AND 2 ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORMSEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
4. SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.
  - A. NO WATER MAIN SHALL PASS THROUGH, OR COME IN CONTACT WITH, ANY PART OF A SANITARY MANHOLE.
  - B. WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.
5. WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:
  - A. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN AND
  - B. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER.

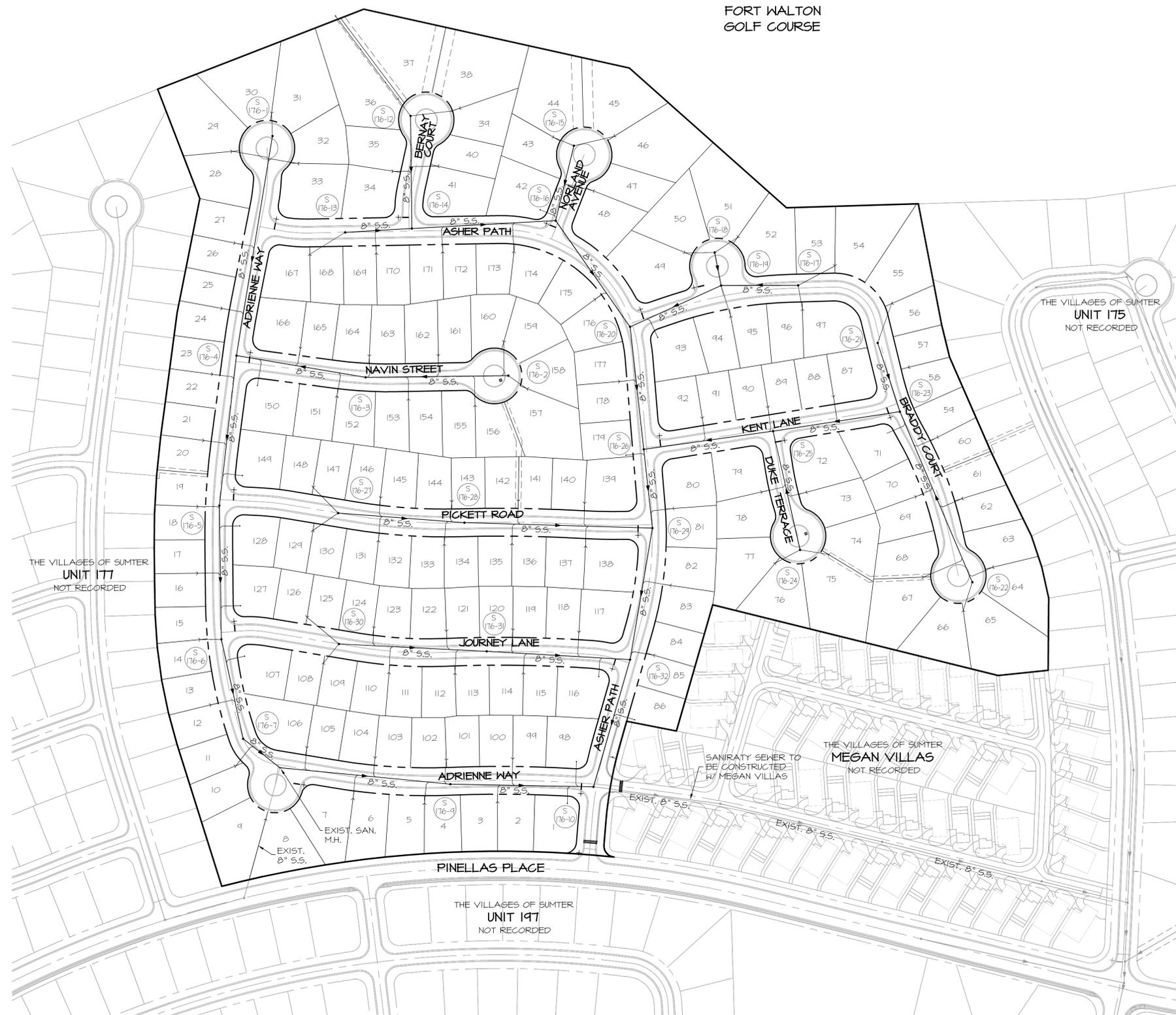
**HORIZONTAL SEPARATION:** BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAIN, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

1. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
  2. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
  3. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND STORMWATER FORCE MAINS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
  4. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 391.0065(2), F.S., AND RULE 64E-6002, F.A.C.
  5. WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN OTHER PIPELINE:
    - A. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS GRAVITY-OR VACUUM-TYPE PIPELINE.
    - B. USE WELDED, FUSED OR OTHERWISE RESTRAINED JOINTS FOR EITHER WATER MAIN OR THE OTHER PIPELINE; OR
    - C. USE OF WATER-TIGHT CASING PIPE OR CONCRETE ENCASMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE.
- IF ADJACENT SYSTEMS ARE EXISTING, CONNECTION POINTS WILL BE EXISTING MANHOLES WITH APPROPRIATE PLUGGED BOOTS AT CONNECTION POINTS.
- IF ADJACENT SYSTEMS ARE NOT EXISTING, MANHOLES WITH APPROPRIATELY PLACED AND PLUGGED BOOTS WILL BE LEFT FOR FUTURE CONNECTIONS.



**SANITARY SEWER LEGEND**

PROPOSED	EXISTING



DATE		REVISIONS			
DATE		REVISIONS			
<b>VILLAGES OF SUMTER</b> <b>UNIT 176</b> <b>SANITARY SEWER</b> <b>MASTER PLAN</b>					
<b>FARNER BARLEY AND ASSOCIATES, INC.</b> ENGINEERS SURVEYORS PLANNERS Certificate of Authorization Number: 4709 4450 N.E. 83rd Road • Wilfredo, Florida 34785 • (352) 748-3126					
DATE 3-30-10 DRAWN BY JM CHKD BY JAH FILE NAME 176-SM JOB NO. 9211411921					
SHT. 5 OF 23					

**POTABLE WATER LEGEND**

PROPOSED	EXISTING
PW POTABLE WATER MAIN	PW
6" VALVE (TYPE) 6"=GATE VALVE 6"=INTERLOCK VALVE 6"=PLUS VALVE 6"=CHECK VALVE	6" VALVE (TYPE) 6"=GATE VALVE 6"=INTERLOCK VALVE 6"=PLUS VALVE 6"=CHECK VALVE
4"x3" REDUCER (SIZE)	4"x3" REDUCER (SIZE)
CAP	CAP
BLOW-OFF VALVE	BLOW-OFF VALVE
SINGLE SERVICE	SINGLE SERVICE
DOUBLE SERVICE	DOUBLE SERVICE
TEE	TEE
45° BEND (ANGLE)	45° BEND (ANGLE)
4" SAMPLE POINT	4" SAMPLE POINT

**NOTES:**

- IF ADJACENT SYSTEMS ARE EXISTING, REMOVE PLUGS & CONNECT.
- IF ADJACENT SYSTEMS ARE NOT EXISTING, PLACE A GATE VALVE, A MIN. OF 40' OF PIPE AND A PLUG BEYOND THE LAST SERVICE BEING CONSTRUCTED.



REVISIONS	DATE

**FARNLEY**  
ENGINEERS SURVEYORS AND PLANNERS  
AND ASSOCIATES, INC.  
Certificate of Authorization Number: 4709  
4450 N.E. 63rd Road • Wilfredo, Florida 34785 • (352) 748-3126

**The Villages**  
WATER DISTRIBUTION MASTER PLAN

VILLAGES OF SUMTER UNIT 176  
DATE 3-30-10  
DRAWN BY JM  
CHKD BY JAH  
FILE NAME 176-WATER  
JOB NO. 9211411921

S:\SUMTER\UNITS\VILLAS\UNIT 176\CHILCONSTRUCTION\06-176-WATER.dwg, 10/6/10 11:03:54 AM, 1:00

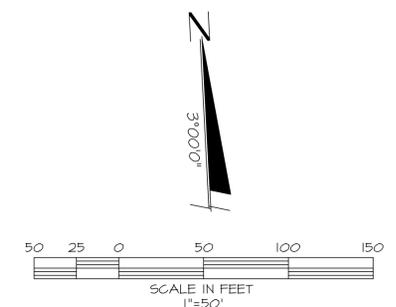
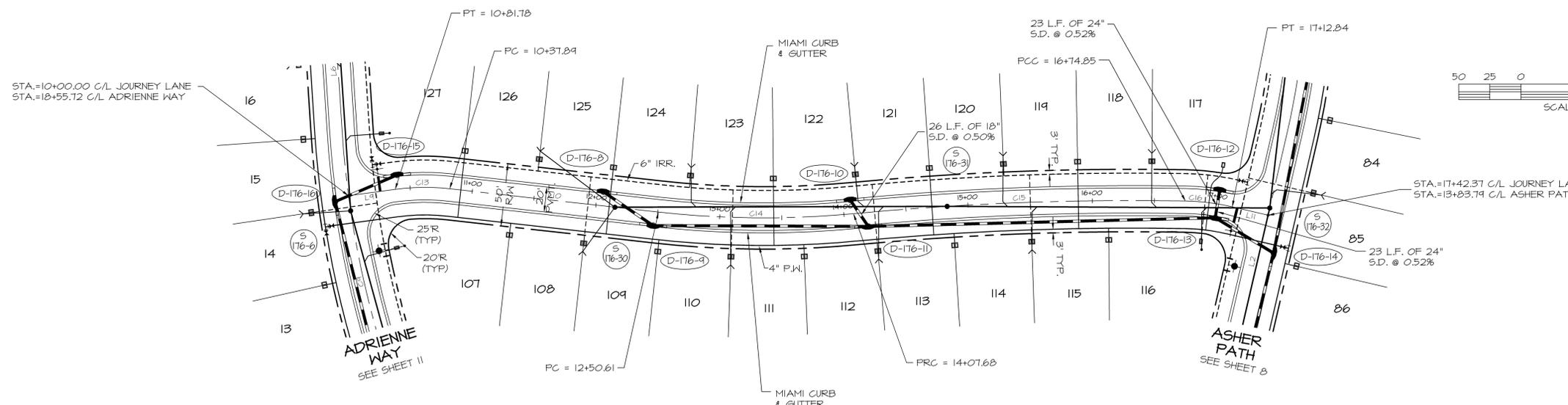










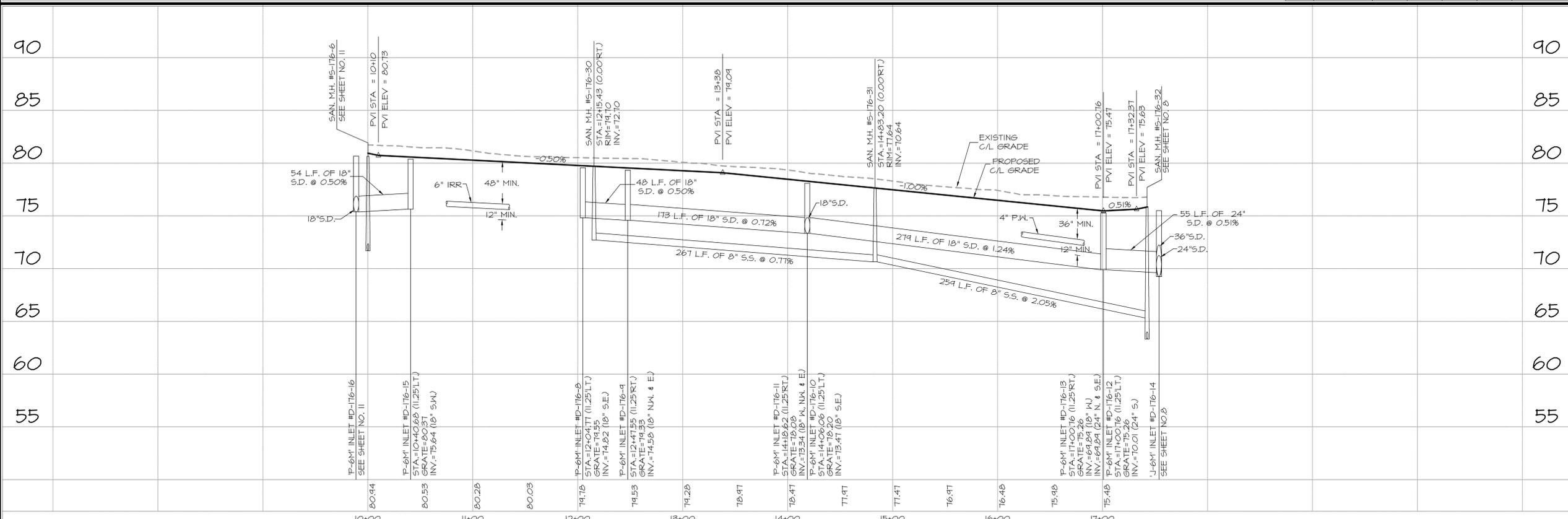


LINE TABLE		
LINE	BEARING	DISTANCE
L1	N85°21'56"E	37.84'
L10	S8°0'34"46"E	165.84'
L11	S13°52'51"E	23.54'

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C13	13°58'18"	150.00'	43.84'	22.06'	43.78'	N87°38'55"14"
C14	11°43'04"	768.00'	151.07'	78.81'	156.74'	S86°31'18"E
C15	6°24'22"	2384.50'	261.16'	133.72'	261.02'	N84°10'40"14"
C16	12°05'38"	150.00'	37.94'	19.07'	37.42'	N74°55'40"14"

JOURNEY LANE



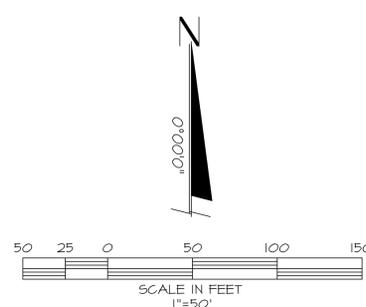
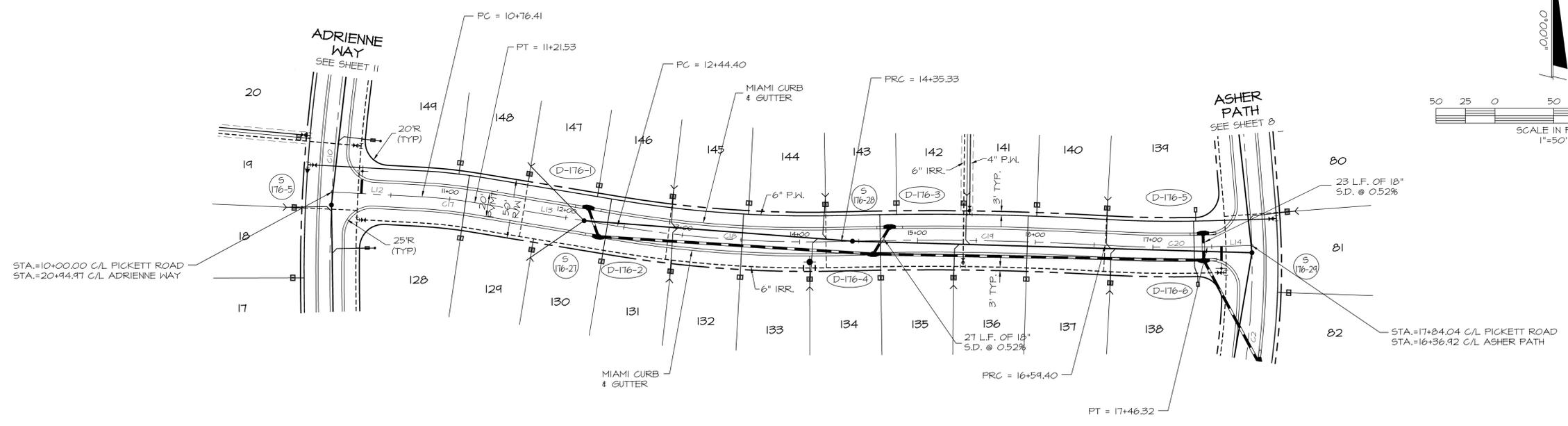
DATE	REVISIONS

**FARNLEY & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS PLANNERS  
 Certificate of Authorization Number: 4709  
 4450 N.E. 53rd Road • Wilfredo, Florida 34785 • (352) 748-3126

**The Villages**  
 VILLAGES OF SUMNER UNIT 116  
 PLAN & PROFILE  
 JOURNEY LANE

DATE: 3-30-10  
 DRAWN BY: JM  
 CHKD BY: JAH  
 FILE NAME: 116.PDS  
 JOB NO.: 9211411921

SHT\_12\_OF\_23



STA.=10+00.00 C/L PICKETT ROAD  
 STA.=20+44.97 C/L ADRIENNE WAY

23 L.F. OF 18\"/>

STA.=17+84.04 C/L PICKETT ROAD  
 STA.=16+36.92 C/L ASHER PATH

LINE	BEARING	DISTANCE
L12	S86°56'14\"/>	
L13	S80°34'46\"/>	
L14	N88°18'53\"/>	

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C17	6°16'28\"/>					
C18	10°56'21\"/>					
C19	4°53'50\"/>					
C20	4°58'50\"/>					

### PICKETT ROAD

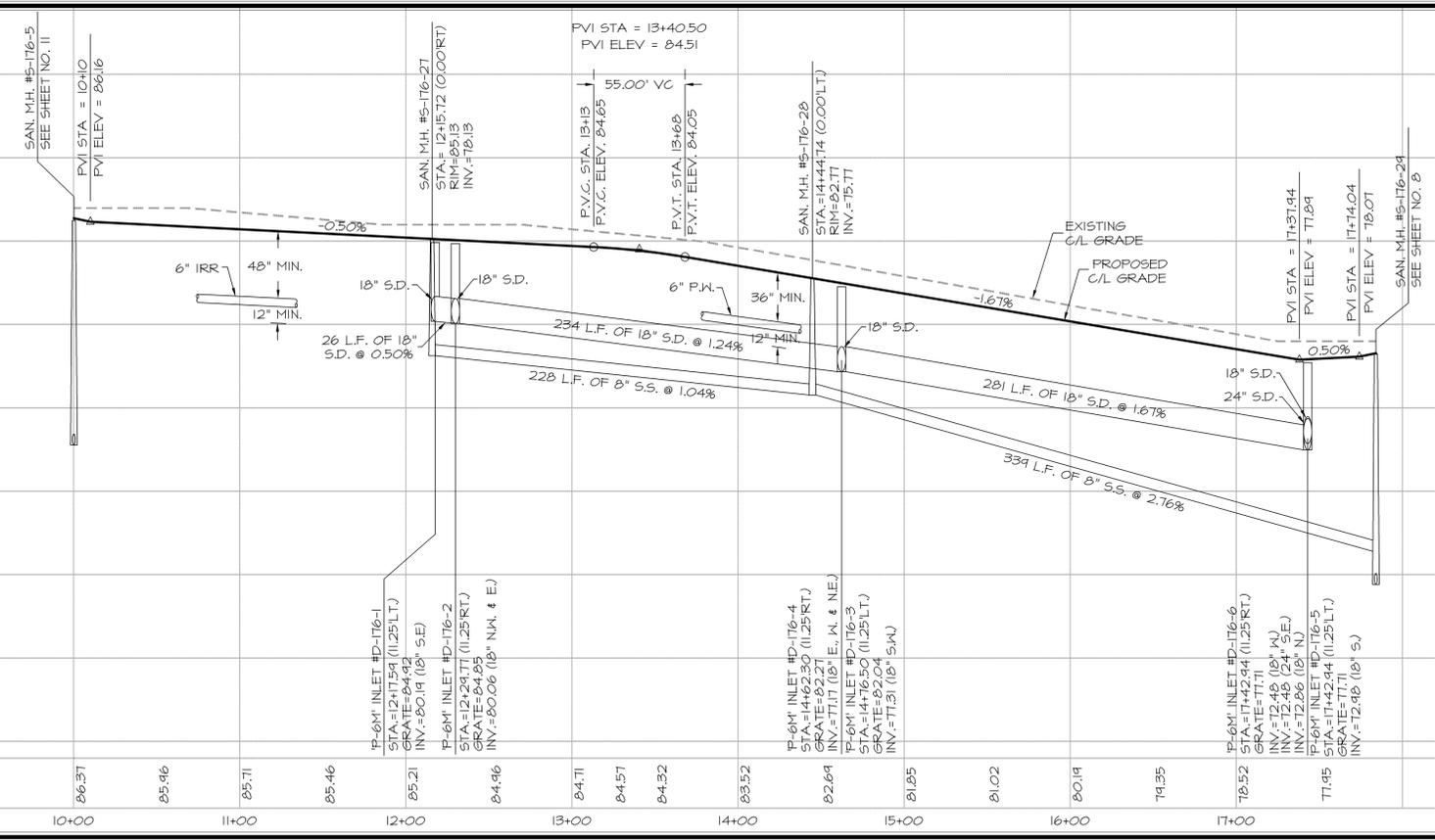
DATE	REVISIONS

**FARNER & BARILEY AND ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS PLANNERS  
 Certificate of Authorization Number: 4709  
 4450 N.E. Star Road • Milwood, Florida 34785 • (352) 748-3126

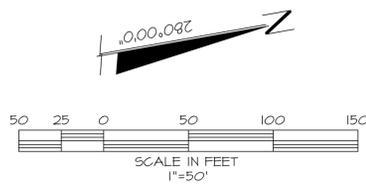
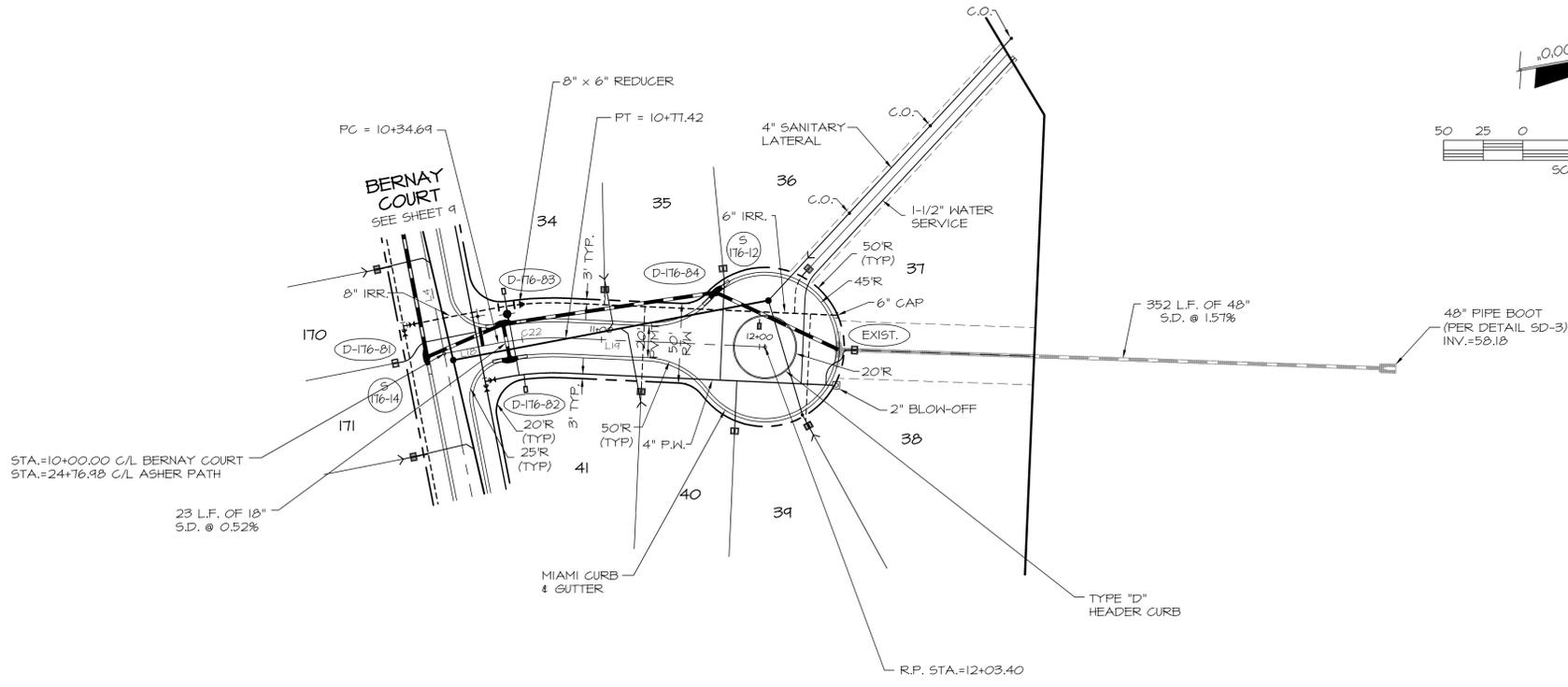
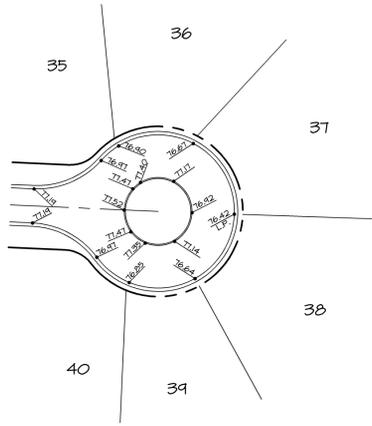
**The Villages**  
 VILLAGES OF SUMNER  
 UNIT 176  
**PLAN & PROFILE**  
**PICKETT ROAD**

DATE: 3-30-10  
 DRAWN BY: JM  
 CHKD BY: JAH  
 FILE NAME: 176-176  
 JOB NO.: 9211411921

55	60	65	70	75	80	85	90	95
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**BERNAY COURT**

LINE TABLE

LINE	BEARING	DISTANCE
L18	N1°02'22"W	34.69'
L19	N2°33'35"E	125.48'

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
G22	13°35'51"	180.00'	42.12'	21.46'	42.62'	S5°45'36"W

REVISIONS

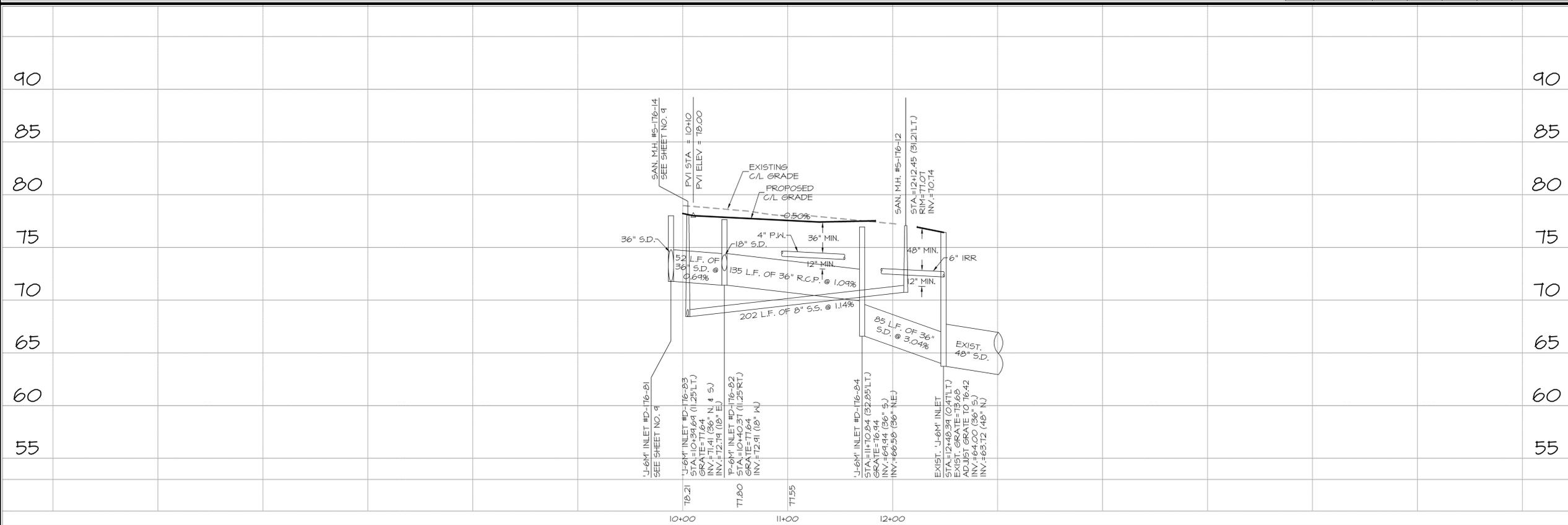
NO.	DATE	DESCRIPTION

**FARNER AND ASSOCIATES, INC.**  
**ENGINEERS SURVEYORS AND PLANNERS**  
 Certificate of Authorization Number: 4709  
 4450 N.E. 63rd Road • Wilfredo, Florida 34785 • (352) 748-3126

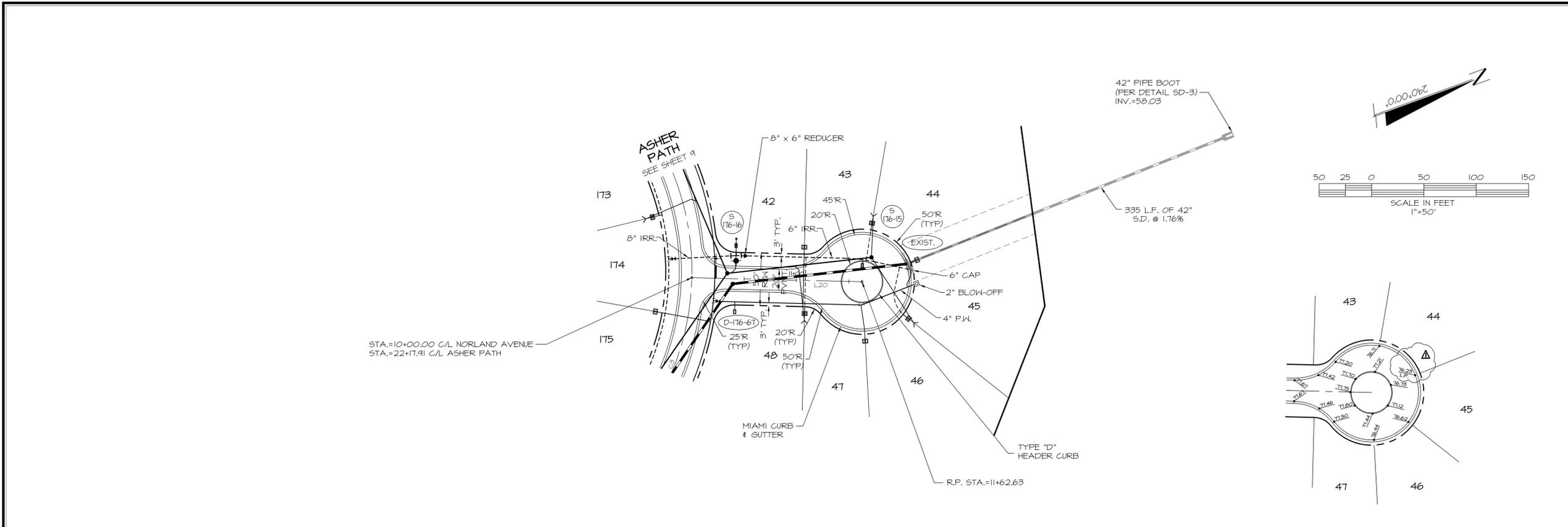
**The Villages**  
 VILLAGES OF SUMNER  
 UNIT 176  
**PLAN & PROFILE**  
**BERNAY COURT**

DATE 3-30-10  
 DRAWN BY JM  
 CHKD BY JAH  
 FILE NAME 176.PSD  
 JOB NO. 9211411921

SHT. 15 OF 23

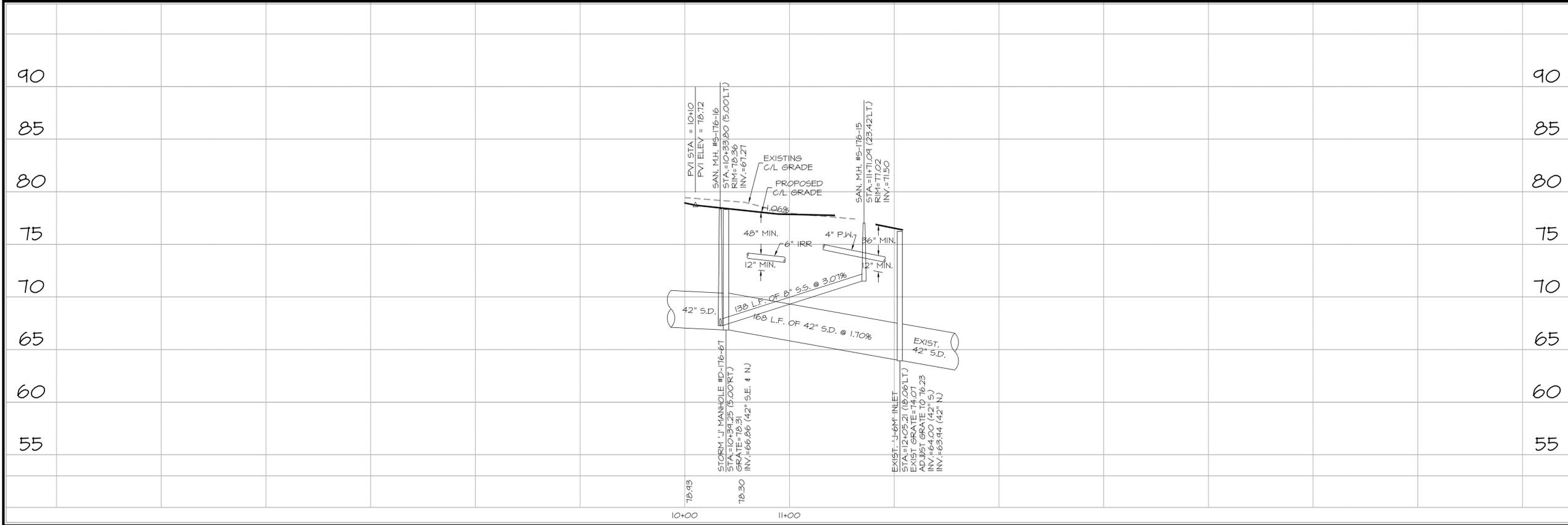


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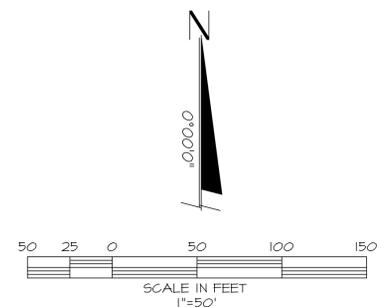
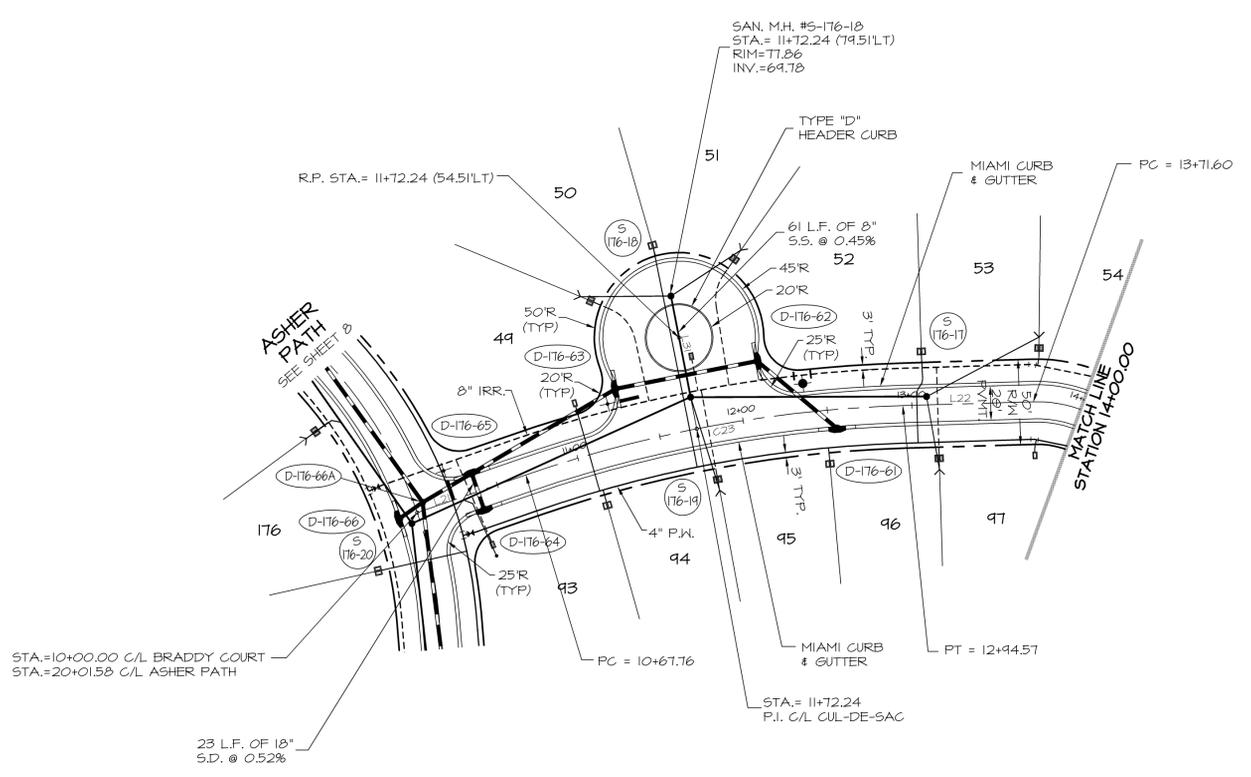
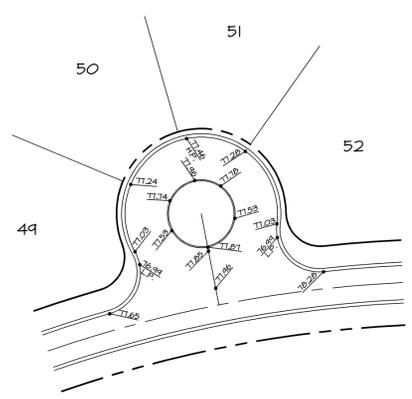


LINE TABLE		
LINE	BEARING	DISTANCE
L20	N21°23'11"E	162.63'

NORLAND AVENUE



DATE	10-27-10	CHANGED NOTE
BY	JM	REVISIONS
<p>VILLAGES OF SUMTER UNIT 176</p> <p>PLAN &amp; PROFILE NORLAND AVENUE</p>		
DATE	3-30-10	
DRAWN BY	JM	
CHKD BY	JAH	
FILE NAME	176-PPS	
JOB NO.	9211411921	
SHT. 16 OF 23		



STA.=10+00.00 C/L BRADY COURT  
 STA.=20+01.50 C/L ASHER PATH

BRADY COURT

LINE TABLE		
LINE	BEARING	DISTANCE
L21	N10°58'02"E	61.16'
L22	N88°11'40"E	11.03'

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C23	174°38"	150.00'	226.01'	114.28'	225.95'	S19°57'51"W

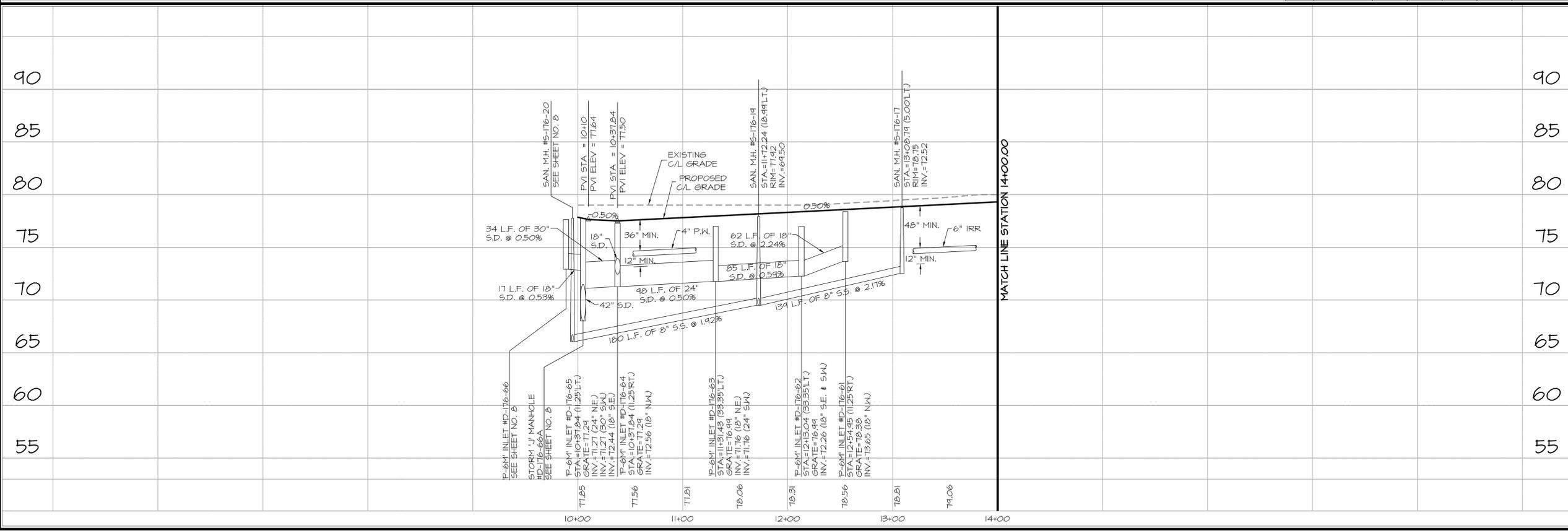
DATE	REVISIONS

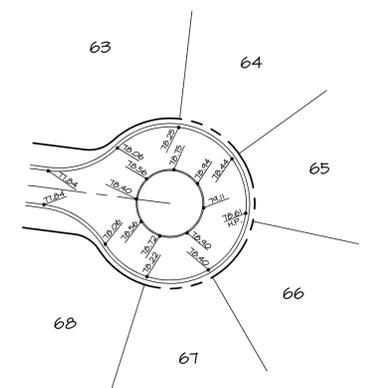
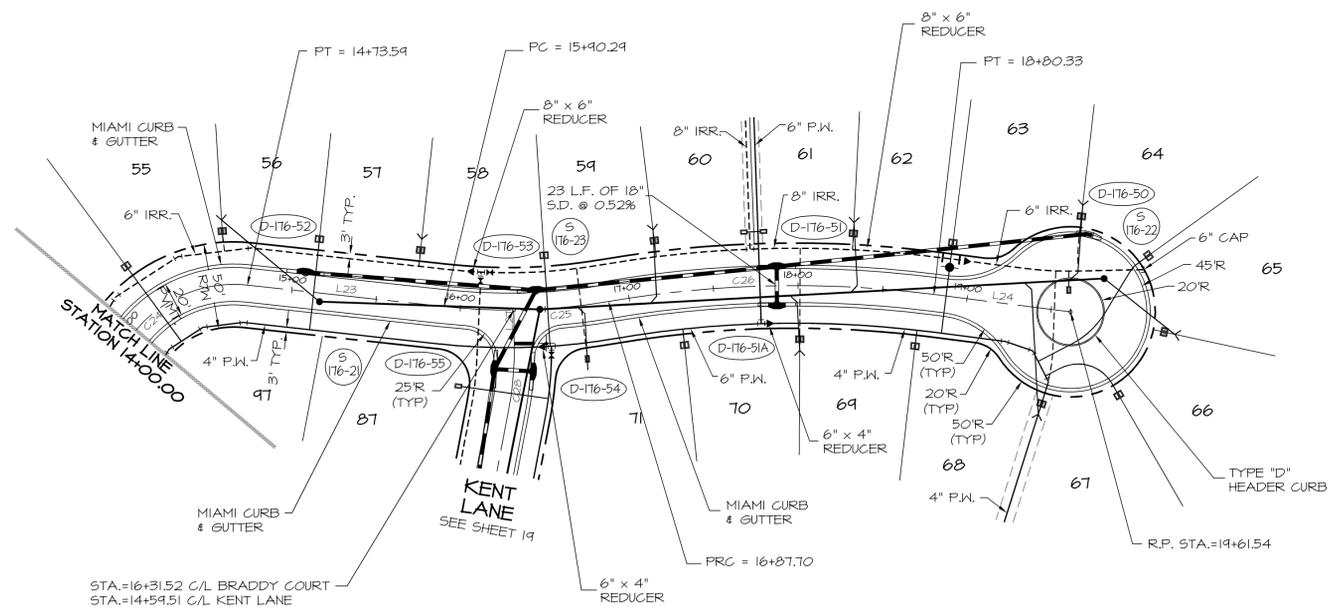
**FARNER & BARBLEY**  
 ENGINEERS SURVEYORS AND PLANNERS  
**AND ASSOCIATES, INC.**  
 Certificate of Authorization Number: 4709  
 4450 N.E. 63rd Road • Milwood, Florida 34785 • (352) 748-3126

**The Villages**  
 VILLAGES OF SUMNER  
 UNIT 116  
**PLAN & PROFILE**  
 BRADY COURT

DATE 3-30-10  
 DRAWN BY JIM  
 CHKD BY JAH  
 FILE NAME 116-P10  
 JOB NO. 9211411921

SHT. 17 OF 23



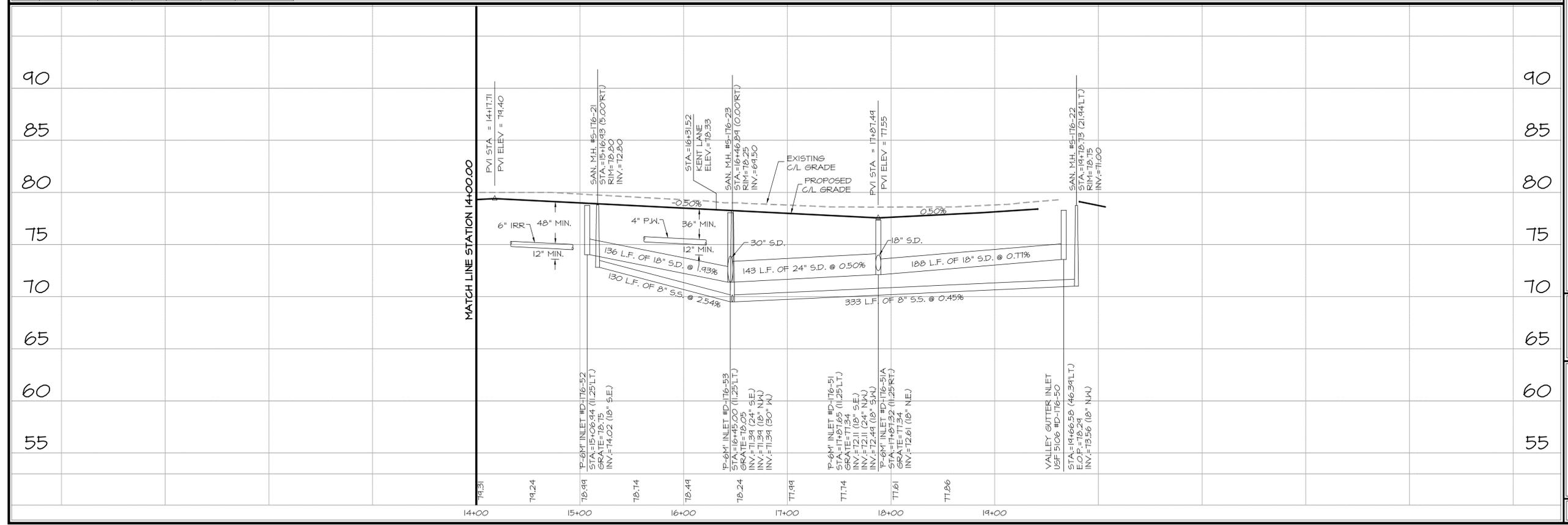


LINE TABLE		
LINE	BEARING	DISTANCE
L23	S13°41'20\"E	116.70'
L24	S12°45'20\"E	81.21'

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C24	71°59'00"	75.00'	101.88'	60.64'	84.31'	N52°44'50\"N
C25	15°56'41"	350.00'	97.41'	49.02'	97.10'	S21°45'44\"E
C26	16°58'41"	650.00'	182.63'	111.03'	191.92'	N21°14'44\"W

**BRADDY COURT**



NO.	DATE	REVISIONS

**FARNER & BARBEY AND ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS AND PLANNERS  
 Certificate of Authorization Number: 4709  
 4460 N.E. 63rd Road • Wilfredo, Florida 34785 • (352) 748-3126

**The Villages**  
 VILLAGES OF SUMNER  
 UNIT 176  
**PLAN & PROFILE**  
**BRADDY COURT**

DATE: 3-30-10  
 DRAWN BY: JM  
 CHKD BY: JAH  
 FILE NAME: 176.PDF  
 JOB NO.: 9211411921

55	60	65	70	75	80	85	90
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S:\SUMMITER\SVILLS\UNIT 176\CHILCO SUBMITTAL\ENGINEERING\GRA 10-27-10 1022\UNIT 176 GRAD2.dwg, 10/27/10 10:22:15 AM, 1:50



**B-34A**

ERP. No. \*  
 POND NO. B-34A  
 T.O.B. ELEV. 75.00  
 D.L.W. ELEV. 65.00  
 BOTTOM ELEV. 57.00  
 100 YR/24HR FLOOD ELEV. 73.93

**B-68**

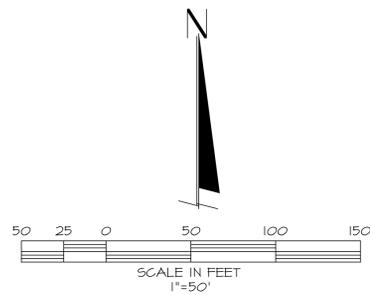
ERP. No. \*  
 POND NO. B-68  
 T.O.B. ELEV. 70.00  
 D.L.W. ELEV. 60.50  
 BOTTOM ELEV. 52.50  
 100 YR/24HR FLOOD ELEV. 69.14

DATE	BY	REVISIONS
10-27-10	JAH	GRADING REVISIONS

**FARBER & BARLEY**  
 ENGINEERS SURVEYORS AND PLANNERS  
 AND ASSOCIATES, INC.  
 Certificate of Authorization Number: 4709  
 4450 N.E. 63rd Road • Wilfredo, Florida 34785 • (352) 748-3126

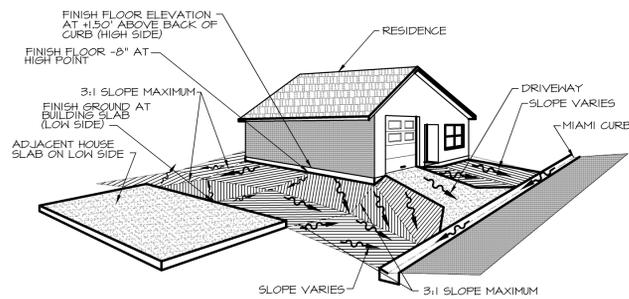
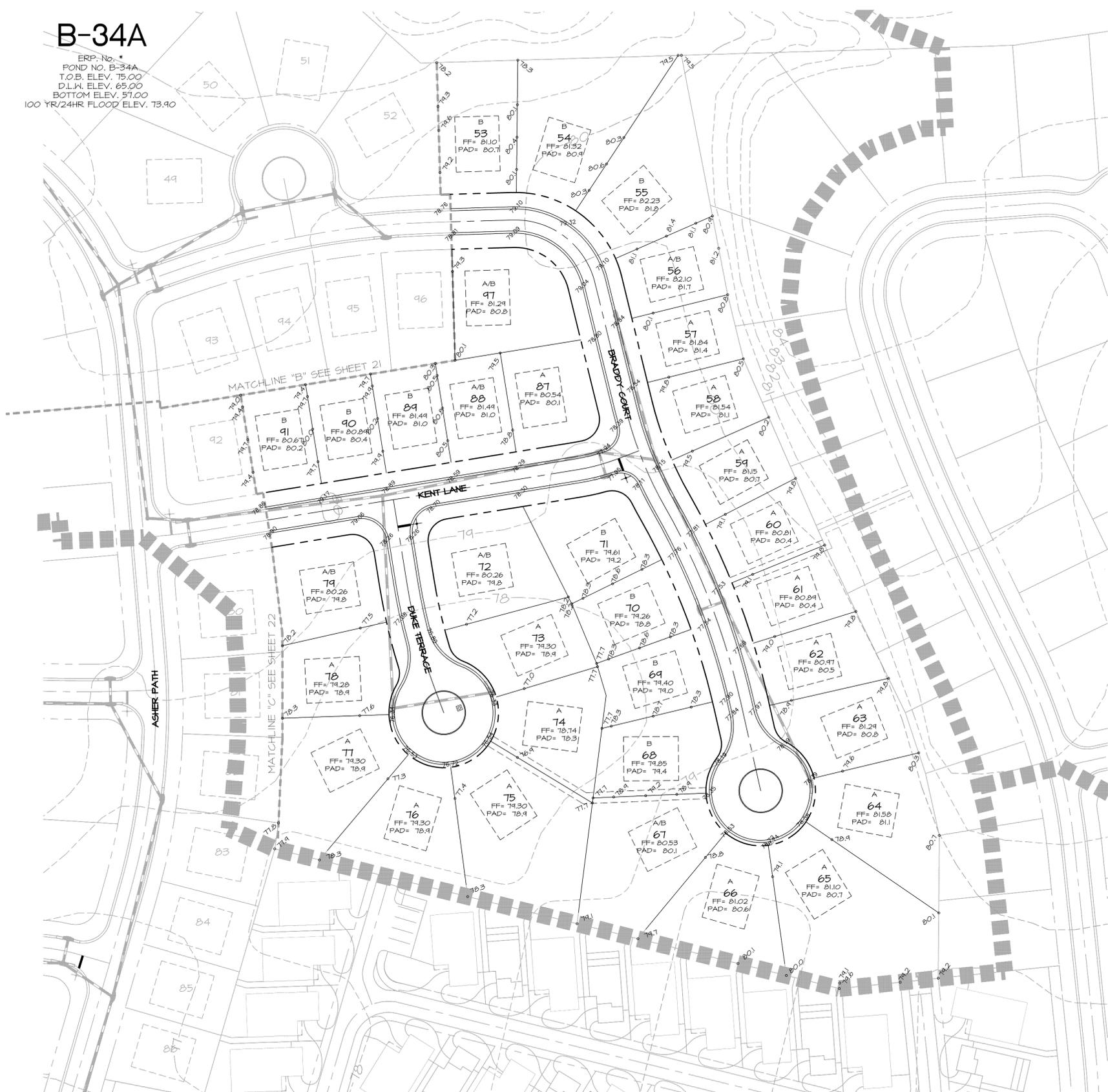
**The Villages**  
 VILLAGES OF SUMTER  
 UNIT 176  
**GRADING PLAN**

DATE 3-23-10  
 DRAWN BY JM  
 CHKD BY JAH  
 FILE NAME 176-GRAD2  
 JOB NO. 9211411921

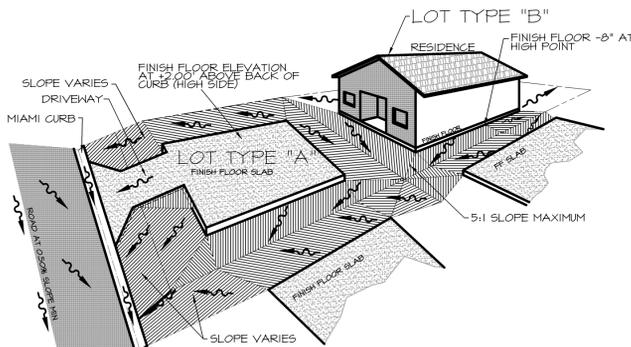


# B-34A

ERP No. B-34A  
 POND NO. B-34A  
 T.O.B. ELEV. 75.00  
 D.L.H. ELEV. 65.00  
 BOTTOM ELEV. 51.00  
 100 YR/24HR FLOOD ELEV. 73.90



TYPICAL "B" LOT GRADING SCHEME  
 (60' X 90' LOT)



TYPICAL "A" LOT GRADING SCHEME  
 ADJACENT TO TYPE "B" LOT

DATE	3-23-10
DRAWN BY	JM
CHKD BY	JAH
FILE NAME	THE VILLAGES
JOB NO.	9211411421
DATE	
REVISIONS	
BT	

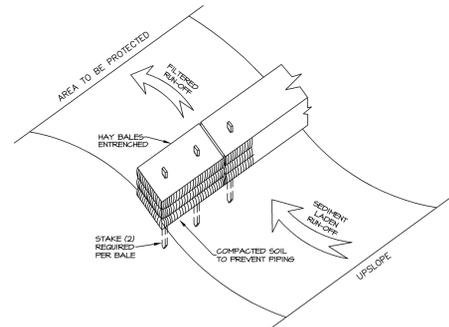
**FARNER BARLEY AND ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS AND PLANNERS  
 Certificate of Authorization Number: 4709  
 4450 N.E. 83rd Road • Wilfredo, Florida 34785 • (352) 748-3126

**The Villages**  
 VILLAGES OF SUMTER  
 UNIT 176  
**GRADING PLAN**

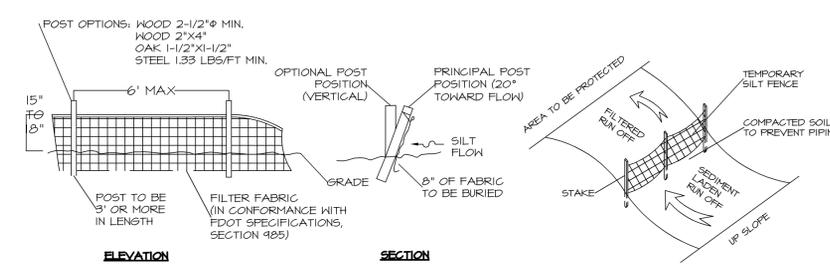
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**EROSION CONTROL NOTES**

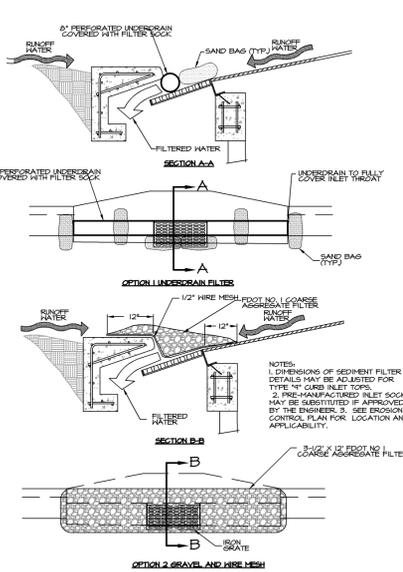
- THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
- TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY THE OWNER.
- PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMIC, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RAINFALL OR HIGH WATER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).
- PROTECT ALL CURB INLETS & GRATE INLETS AS SHOWN IN DETAILS SD-26 & SD-27 OF THE VILLAGES CONSTRUCTION & DEVELOPMENT MANUAL, LATEST EDITION.



**EROSION CONTROL STRUCTURE**  
NOT TO SCALE

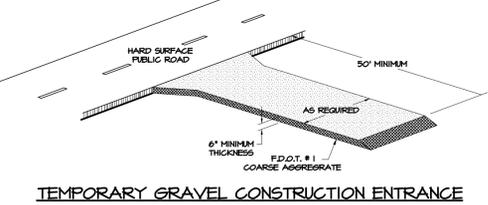
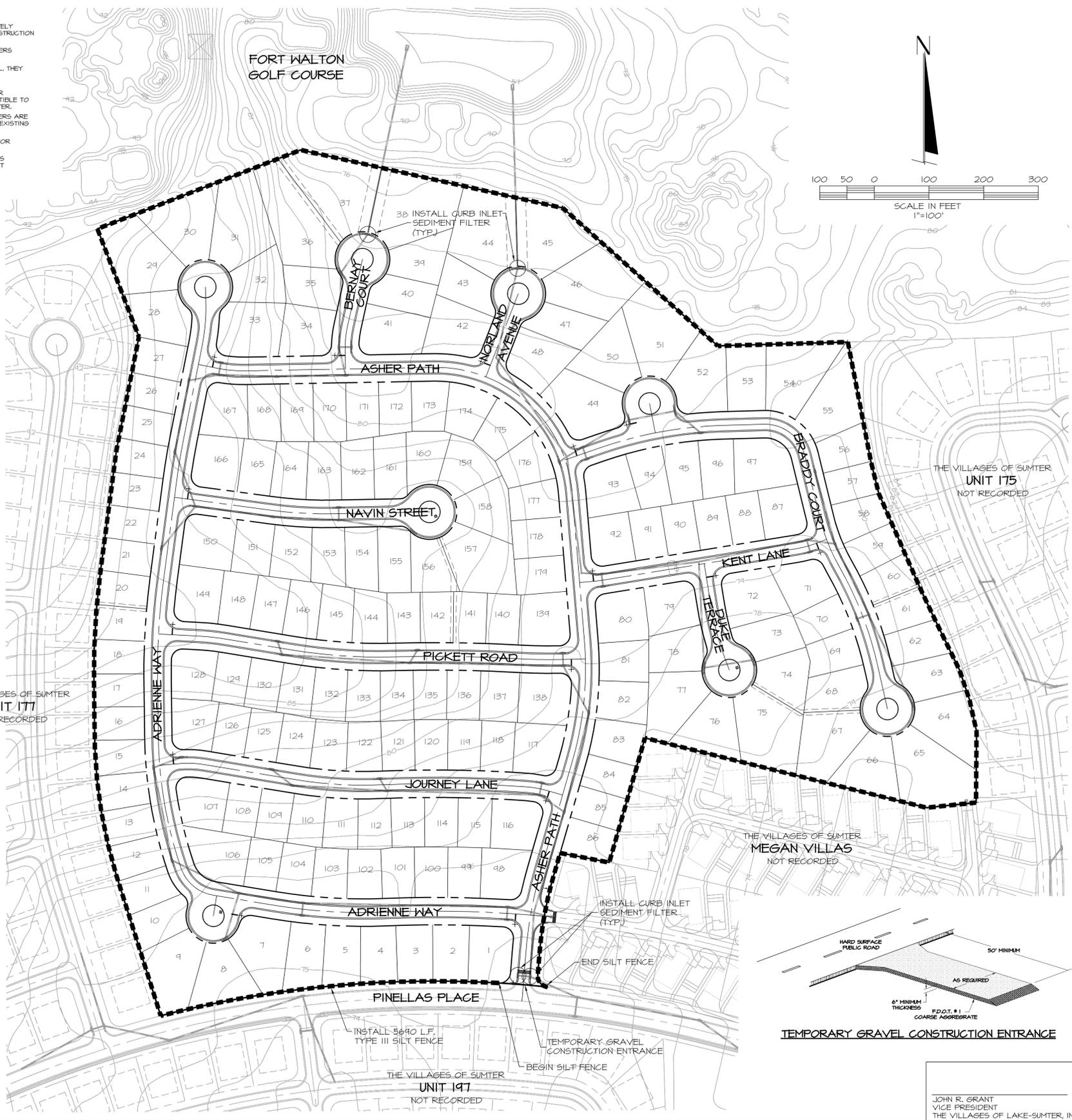


**FLORIDA DOT TYPE III SILT FENCE AND EROSION CONTROL**



**CURB INLET SEDIMENT FILTER DETAIL**  
NOT TO SCALE

- NOTES:
- TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
  - ALTERNATE EROSION CONTROL STRUCTURE: WOVEN FILTER FABRIC SILT FENCE IN ACCORDANCE WITH F.D.O.T. INDEX #02, FILTER FABRIC IN ACCORDANCE WITH SECTION 925 OF THE F.D.O.T. STANDARD SPECIFICATIONS.

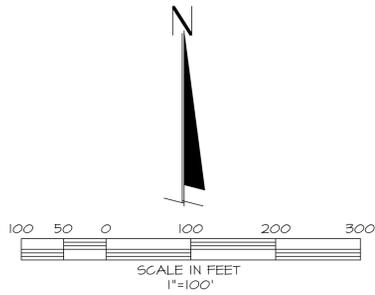


**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

JOHN R. GRANT  
VICE PRESIDENT  
THE VILLAGES OF LAKE-SUMTER, INC.

DATE	3-30-10
DRAWN BY	JM
CHKD BY	JAH
FILE NAME	175-EROS
JOB NO.	921141192L
<b>EROSION CONTROL MASTER PLAN</b>	
DATE	
REVISIONS	
BY	

ENGINEERS SURVEYORS PLANNERS
   
 Certificate of Authorization Number: 4709
   
 4450 N.E. 83rd Road • Wilfredo, Florida 34785 • (352) 748-3126



**JOINT TRENCH**

- ▬▬▬▬ JOINT TRENCH
- ▬▬▬▬ SINGLE TRENCH
- ▬▬▬▬ 2" SECO CONDUIT
- ▬▬▬▬ UTILITY SLEEVE
- ⊠ ELECTRIC TRANSFORMER
- ⊠ ELECTRIC FEED THROUGH CABINET
- ⊠ STREET LIGHT
- ⊠ TELEPHONE PEDESTAL
- ⊠ CABLE TV PEDESTAL
- ⊠ PROPOSED FULL BOX
- ⊠ CABINET

**NOTE:**

PLACEMENT OF PEDESTALS, TRANSFORMERS, STREET LIGHTS, ETC. SHOWN ON THIS PLAN ARE SCHEMATIC. ALL INSTALLATIONS SHALL BE LOCATED AS SPECIFIED IN THE VILLAGES CONSTRUCTION DETAILS, LATEST EDITION.

DATE	REVISIONS	BY

**FARNLEY & BARLEY**  
ENGINEERS SURVEYORS AND PLANNERS  
AND ASSOCIATES, INC.  
Certificate of Authorization Number: 4709  
4450 N.E. 83rd Road • Wilfredo, Florida 34785 • (352) 748-3126

*The Villages*  
**VILLAGES OF SUMTER**  
UNIT 176  
**UTILITY TRENCHING PLAN**

DATE 8-9-10  
DRAWN BY JM  
CHKD BY JAH  
FILE NAME 176-TRENCH  
JOB NO. 9211411921

S:\SUMTER\UNITS\VILLAGES\UNIT 176\CIVIL\CONSTRUCTION\UT-1-176-TRENCH.dwg, 9/28/2010 12:58:37 PM

# The Villages®

## PRELIMINARY / ENGINEERING PLAN OF VILLAGE OF SANIBEL POSTAL PARK AND NEIGHBORHOOD RECREATION CENTER (SC-322 NR)

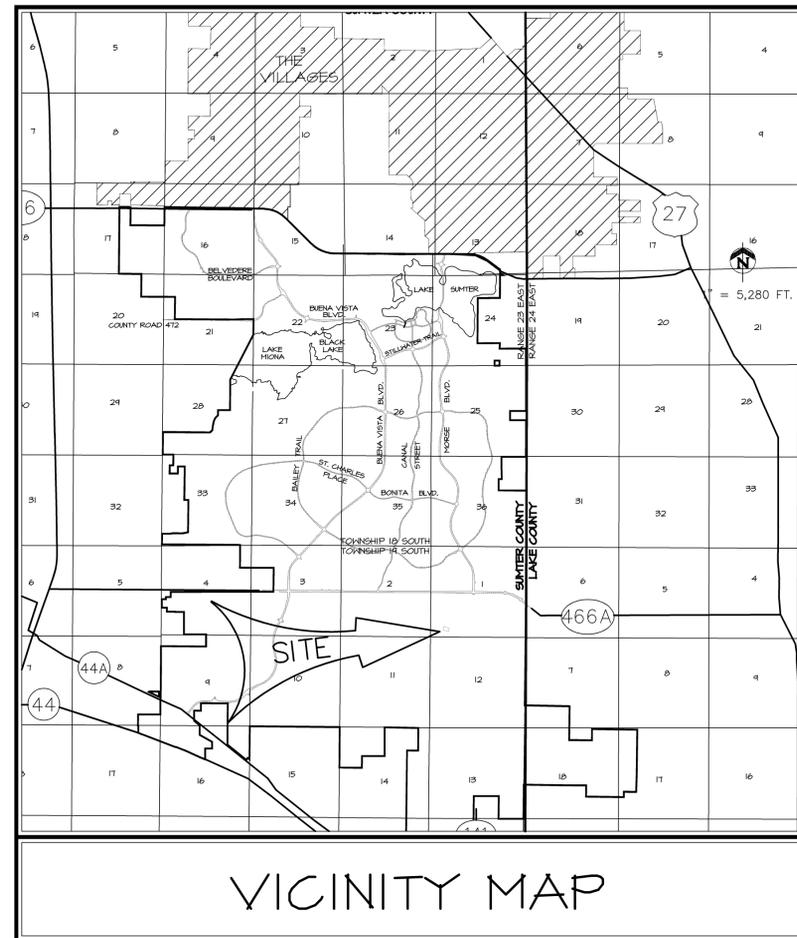
DATE	ISSUE	BY

### LEGAL DESCRIPTION

A PARCEL OF LAND LYING IN THE SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE S89°45'19"E, ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 769.05 FEET; THENCE DEPARTING SAID SOUTH LINE N00°14'41"E, 405.66 FEET TO THE POINT OF BEGINNING; THENCE N01°46'54"W, 201.72 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTH, HAVING A RADIUS OF 1,970.00 FEET AND A CHORD BEARING AND DISTANCE OF S76°57'44"E, 55.23 FEET TO WHICH A RADIAL BEARING BEARS N12°14'00"E; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 01°36'22", AN ARC DISTANCE OF 55.23 FEET; THENCE S76°09'38"E, 310.33 FEET; THENCE S13°50'22"W, 187.50 FEET; THENCE N77°32'55"W, 311.32 FEET TO THE POINT OF BEGINNING.

CONTAINING 1.49 ACRES, MORE OR LESS.



### VICINITY MAP

SECTION 1  
TOWNSHIP 19 SOUTH; RANGE 23 EAST  
SUMTER COUNTY, FLORIDA

### INDEX OF SHEETS

1. TITLE SHEET
2. AERIAL PHOTOGRAPH
3. MASTER DEVELOPMENT PLAN
4. SITE PLAN
5. GRADING AND DRAINAGE PLAN
6. WATER DISTRIBUTION AND SANITARY SEWER PLAN
- EC-1 EROSION CONTROL MASTER PLAN

**OWNER/DEVELOPER:**  
THE VILLAGES OF LAKE-SUMTER, INC.  
990 OLD MILL RUN  
VILLAGES, FL. 32162  
JOHN R. GRANT, VICE PRESIDENT  
(352) 753-6260

**ENGINEER:**  
FARNER, BARLEY AND ASSOCIATES, INC.  
4450 N.E. 83rd ROAD  
WILDWOOD, FL 34785  
JEFFREY A. HEAD, P.E., #58058  
(352) 748-3126

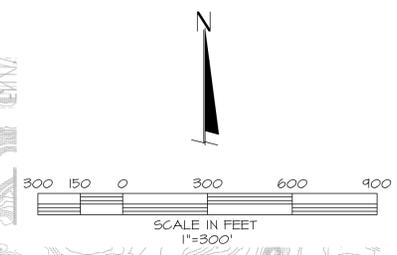
THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN "THE VILLAGES CONSTRUCTION DETAILS MANUAL, DATED MAY 1, 2009", PREPARED BY GRANT & DZURO, OR AS AMENDED BY THESE PLANS.

NOTE: ELEVATIONS SHOWN WERE OBTAINED BY SURVEY AND ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.

**FARNER BARLEY AND ASSOCIATES, INC.** ▲ ENGINEERS ▲ SURVEYORS ▲ PLANNERS  
Certificate of Authorization Number: 4709  
4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126



S:\SUMMIT\STEP\ANS\SANIBEL\_NRC\SC-322-NR\CIVIL\CONSTRUCTION\003\_MASTER DEVELOPMENT PLAN.dwg, 9/14/2010 1:33:01 PM, dbn, KIP3106a.dwg, pc3, 11



LINED POND DATA

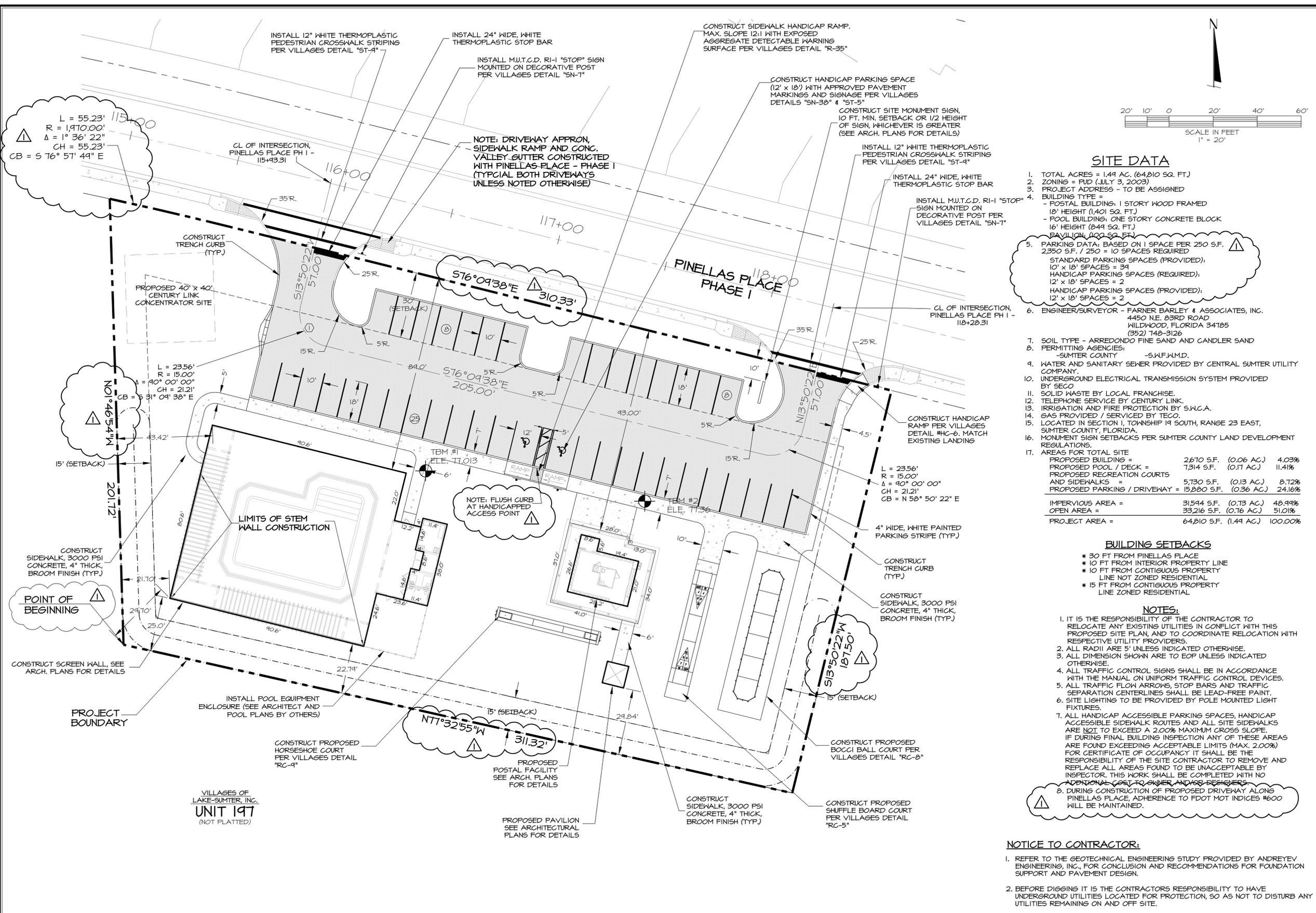
POND	TOP	DLX	BOTTOM	100YR/24HR
B-34D	75.00	65.00	51.00	12.33
B-34C	75.00	65.00	51.00	12.33
B-34A	75.00	65.00	51.00	14.81
B-57A	85.00	75.00	61.00	24.38
B-66	70.00	60.50	52.50	64.18
B-67	70.00	60.50	52.50	64.18

DATE	REVISIONS

**FARNER & BABLEY AND ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS PLANNERS  
 Certificate of Incorporation Number: 4709  
 4450 N.E. 83rd Road • Miramar, Florida 34785 • (352) 748-5126

VILLAGE OF SANIBEL POST OFFICE & NEIGHBORHOOD RECREATION CENTER (SC-322 NR)  
**MASTER DEVELOPMENT PLAN**

DATE: 09-14-10  
 DRAWN BY: EGI  
 CHKD BY: JAH  
 FILE NAME: AERIAL  
 JOB NO. 9211411925



**SITE DATA**

- TOTAL ACRES = 1.49 AC. (64,810 SQ. FT.)
- ZONING = PUD (JULY 3, 2003)
- PROJECT ADDRESS - TO BE ASSIGNED
- BUILDING TYPE - POSTAL BUILDING: 1 STORY WOOD FRAMED 18' HEIGHT (1,401 SQ. FT.) POOL BUILDING: ONE STORY CONCRETE BLOCK 16' HEIGHT (849 SQ. FT.) PAVILION: 100 SQ. FT.
- PARKING DATA: BASED ON 1 SPACE PER 250 S.F. 2,350 S.F. / 250 = 10 SPACES REQUIRED STANDARD PARKING SPACES (PROVIDED): 10' x 18' SPACES = 34 HANDICAP PARKING SPACES (REQUIRED): 12' x 18' SPACES = 2 HANDICAP PARKING SPACES (PROVIDED): 12' x 18' SPACES = 2
- ENGINEER/SURVEYOR - FARNER BARLEY & ASSOCIATES, INC. 4450 N.E. 83RD ROAD WILDWOOD, FLORIDA 34785 (352) 748-3126
- SOIL TYPE - ARREDONDO FINE SAND AND CANDLER SAND
- PERMITTING AGENCIES: -SUMTER COUNTY -S.W.F.W.M.D.
- WATER AND SANITARY SEWER PROVIDED BY CENTRAL SUMTER UTILITY COMPANY
- UNDERGROUND ELECTRICAL TRANSMISSION SYSTEM PROVIDED BY SECO
- SOLID WASTE BY LOCAL FRANCHISE.
- TELEPHONE SERVICE BY CENTURY LINK.
- IRRIGATION AND FIRE PROTECTION BY S.W.C.A.
- GAS PROVIDED / SERVICED BY TEGO.
- LOCATED IN SECTION 1, TOWNSHIP 14 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA.
- MONUMENT SIGN SETBACKS PER SUMTER COUNTY LAND DEVELOPMENT REGULATIONS.
- AREAS FOR TOTAL SITE  

PROPOSED BUILDING =	2,670 S.F.	(0.06 AC.)	4.03%
PROPOSED POOL / DECK =	7,314 S.F.	(0.17 AC.)	11.41%
PROPOSED RECREATION COURTS AND SIDEWALKS =	5,730 S.F.	(0.13 AC.)	8.72%
PROPOSED PARKING / DRIVEWAY =	15,880 S.F.	(0.36 AC.)	24.16%
IMPERVIOUS AREA =	31,594 S.F.	(0.73 AC.)	48.99%
OPEN AREA =	33,216 S.F.	(0.76 AC.)	51.01%
PROJECT AREA =	64,810 S.F.	(1.49 AC.)	100.00%

**BUILDING SETBACKS**

- 30 FT FROM PINELLAS PLACE
- 10 FT FROM INTERIOR PROPERTY LINE
- 10 FT FROM CONTIGUOUS PROPERTY LINE NOT ZONED RESIDENTIAL
- 15 FT FROM CONTIGUOUS PROPERTY LINE ZONED RESIDENTIAL

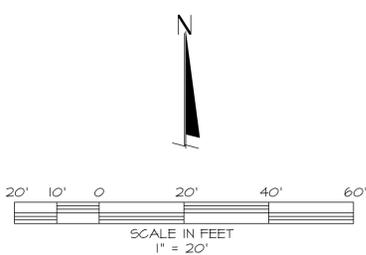
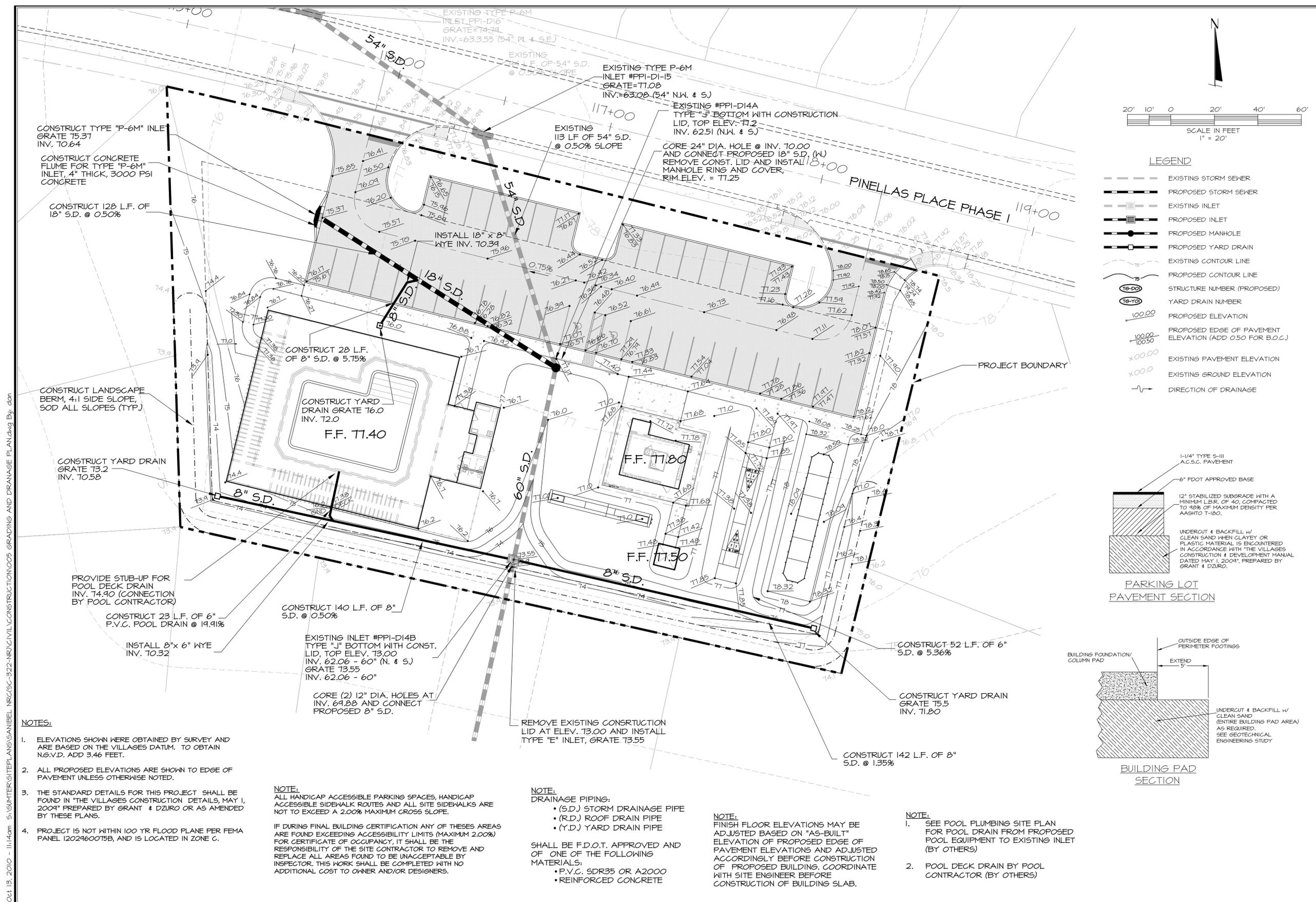
**NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES IN CONFLICT WITH THIS PROPOSED SITE PLAN, AND TO COORDINATE RELOCATION WITH RESPECTIVE UTILITY PROVIDERS.
- ALL RADII ARE 5' UNLESS INDICATED OTHERWISE.
- ALL DIMENSION SHOWN ARE TO EOP UNLESS INDICATED OTHERWISE.
- ALL TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL TRAFFIC FLOW ARROWS, STOP BARS AND TRAFFIC SEPARATION CENTERLINES SHALL BE LEAD-FREE PAINT.
- SITE LIGHTING TO BE PROVIDED BY POLE MOUNTED LIGHT FIXTURES.
- ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM GROSS SLOPE. IF DURING FINAL BUILDING INSPECTION ANY OF THESE AREAS ARE FOUND EXCEEDING ACCEPTABLE LIMITS (MAX. 2.00%) FOR CERTIFICATE OF OCCUPANCY IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO REMOVE AND REPLACE ALL AREAS FOUND TO BE UNACCEPTABLE BY INSPECTOR. THIS WORK SHALL BE COMPLETED WITH NO ADDITIONAL COST TO OWNER AND/OR DESIGNER.
- DURING CONSTRUCTION OF PROPOSED DRIVEWAY ALONG PINELLAS PLACE, ADHERENCE TO FDOT MOT INDICES #600 WILL BE MAINTAINED.

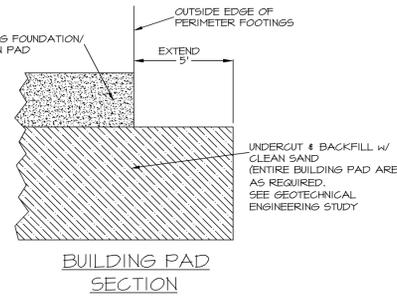
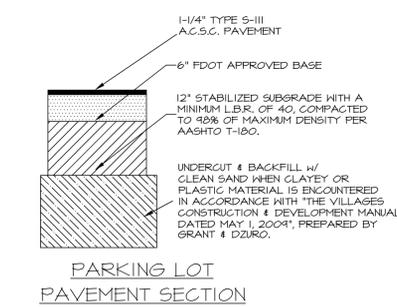
**NOTICE TO CONTRACTOR:**

- REFER TO THE GEOTECHNICAL ENGINEERING STUDY PROVIDED BY ANDREYEV ENGINEERING, INC., FOR CONCLUSION AND RECOMMENDATIONS FOR FOUNDATION SUPPORT AND PAVEMENT DESIGN.
- BEFORE DIGGING IT IS THE CONTRACTORS RESPONSIBILITY TO HAVE UNDERGROUND UTILITIES LOCATED FOR PROTECTION, SO AS NOT TO DISTURB ANY UTILITIES REMAINING ON AND OFF SITE.

BY:	DLB
DATE:	10-28-10
REVISIONS:	REVISED PER SUMTER COUNTY PLAN #11, OCT. 22, 2010
<b>VILLAGE OF SANIBEL POSTAL PARK &amp; NEIGHBORHOOD RECREATION CENTER (SC-322 NR) SITE PLAN</b>	
DATE:	09-13-10
DRAWN BY:	EGL
CHKD BY:	JAH
FILE NAME:	SITE PLAN
JOB NO.:	0211411925
SHT. 4 OF 6	



- LEGEND**
- EXISTING STORM SEWER
  - - - - PROPOSED STORM SEWER
  - EXISTING INLET
  - - - - PROPOSED INLET
  - PROPOSED MANHOLE
  - - - - PROPOSED YARD DRAIN
  - EXISTING CONTOUR LINE
  - - - - PROPOSED CONTOUR LINE
  - (16-00) STRUCTURE NUMBER (PROPOSED)
  - (16-70) YARD DRAIN NUMBER
  - 100.00 PROPOSED ELEVATION
  - 100.00/100.50 PROPOSED EDGE OF PAVEMENT ELEVATION (ADD 0.50 FOR B.O.C.)
  - x00.00 EXISTING PAVEMENT ELEVATION
  - x00.00 EXISTING GROUND ELEVATION
  - - - - DIRECTION OF DRAINAGE



- NOTES:**
- ELEVATIONS SHOWN WERE OBTAINED BY SURVEY AND ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.
  - ALL PROPOSED ELEVATIONS ARE SHOWN TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN "THE VILLAGES CONSTRUCTION DETAILS, MAY 1, 2004" PREPARED BY GRANT & DZURO OR AS AMENDED BY THESE PLANS.
  - PROJECT IS NOT WITHIN 100 YR FLOOD PLANE PER FEMA PANEL 1202960075B, AND IS LOCATED IN ZONE C.

**NOTE:**  
 ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM GROSS SLOPE.  
 IF DURING FINAL BUILDING CERTIFICATION ANY OF THESE AREAS ARE FOUND EXCEEDING ACCESSIBILITY LIMITS (MAXIMUM 2.00%) FOR CERTIFICATE OF OCCUPANCY, IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO REMOVE AND REPLACE ALL AREAS FOUND TO BE UNACCEPTABLE BY INSPECTOR. THIS WORK SHALL BE COMPLETED WITH NO ADDITIONAL COST TO OWNER AND/OR DESIGNERS.

**NOTE:**  
 DRAINAGE PIPING:  
 • (S.D.) STORM DRAINAGE PIPE  
 • (R.D.) ROOF DRAIN PIPE  
 • (Y.D.) YARD DRAIN PIPE  
 SHALL BE F.D.O.T. APPROVED AND OF ONE OF THE FOLLOWING MATERIALS:  
 • P.V.C. SDR35 OR A2000  
 • REINFORCED CONCRETE

**NOTE:**  
 FINISH FLOOR ELEVATIONS MAY BE ADJUSTED BASED ON "AS-BUILT" ELEVATION OF PROPOSED EDGE OF PAVEMENT ELEVATIONS AND ADJUSTED ACCORDINGLY BEFORE CONSTRUCTION OF PROPOSED BUILDING. COORDINATE WITH SITE ENGINEER BEFORE CONSTRUCTION OF BUILDING SLAB.

**NOTE:**

- SEE POOL PLUMBING SITE PLAN FOR POOL DRAIN FROM PROPOSED POOL EQUIPMENT TO EXISTING INLET (BY OTHERS)
- POOL DECK DRAIN BY POOL CONTRACTOR (BY OTHERS)

REVISIONS DATE	<div style="text-align: right;"> <p style="font-size: 8px; margin: 0;">             ENGINEERS SURVEYORS PLANNERS              4779              4450 N.E. 88th. Road, O. Greenwood, Florida 34785 O (352) 748-3128           </p> </div>
<p style="font-weight: bold; font-size: 12px;">             VILLAGES OF SANIBEL POSTAL PARK &amp; NEIGHBORHOOD RECREATION CENTER (SC-322 NR) GRADING AND DRAINAGE PLAN           </p>	
DATE 09-13-10 DRAWN BY EGI CHKD BY JAH FILE NAME 64D JOB NO.(SC 322-NR)	
SHT. 5 OF 6	





# The Villages®

## ENGINEERING PLAN OF CENTRAL SUMTER UTILITY COMPANY WATER TREATMENT PLANT

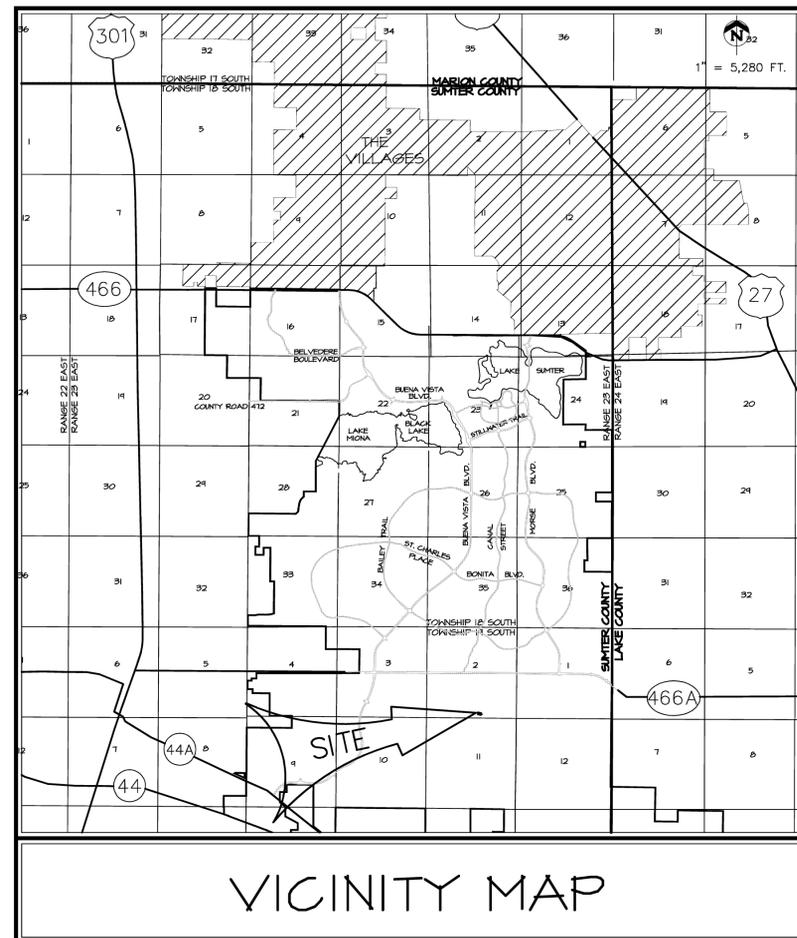
### LEGAL DESCRIPTION

THAT LAND LYING IN SECTION 2, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 2 RUN  $589^{\circ}28'14''$ E, ALONG THE SOUTH LINE THEREOF A DISTANCE OF 333.37 FEET; THENCE DEPARTING SAID SOUTH LINE,  $00^{\circ}31'46''$ E, 187.15 FEET TO THE POINT OF BEGINNING; THENCE  $N12^{\circ}22'06''$ E, 83.25 FEET; THENCE  $N32^{\circ}32'36''$ W, 35.71 FEET; THENCE  $S57^{\circ}27'24''$ N, 47.17 FEET; THENCE  $N32^{\circ}32'36''$ W, 50.33 FEET; THENCE  $N57^{\circ}27'24''$ E, 130.30 FEET; THENCE  $S77^{\circ}32'36''$ E, 252.58 FEET; THENCE  $S12^{\circ}50'57''$ W, 73.01 FEET; THENCE  $S77^{\circ}32'36''$ E, 69.04 FEET; THENCE  $S12^{\circ}27'24''$ W, 58.29 FEET; THENCE  $N77^{\circ}36'44''$ W, 63.58 FEET; THENCE  $S65^{\circ}01'59''$ W, 7.07 FEET; THENCE  $S11^{\circ}24'14''$ N, 67.04 FEET; THENCE  $N77^{\circ}34'58''$ W, 250.96 FEET TO THE POINT OF BEGINNING.  
CONTAINING 1.40 ACRES, MORE OR LESS.

OWNER/DEVELOPER:  
THE VILLAGES OF LAKE-SUMTER, INC.  
990 OLD MILL RUN  
THE VILLAGES, FL 32162  
JOHN R. GRANT, VICE PRESIDENT

ENGINEER:  
FARNER, BARLEY AND ASSOCIATES, INC.  
4450 N.E. 83rd ROAD  
WILDWOOD, FLORIDA 34785  
W. Lee Clymer, P.E.  
FLA. LIC. NO. 69180



SECTION 2  
TOWNSHIP 19 SOUTH; RANGE 23 EAST  
SUMTER COUNTY, FLORIDA

### INDEX OF SHEETS

1. TITLE SHEET
2. MASTER DEVELOPMENT PLAN
3. AERIAL PHOTOGRAPH PLAN
4. SITE PLAN
5. GRADING & DRAINAGE PLAN
6. UTILITY PLAN
- EI. EROSION CONTROL MASTER PLAN

THIS PLAN HAS BEEN APPROVED BY THE VILLAGES AND NO CHANGES SHALL OCCUR TO THE LAYOUT, DESIGN OR ANY OTHER ASPECT OF THE PLAN, WITHOUT RESUBMITTAL AND SUBSEQUENT APPROVAL OF ANY REQUESTED REVISIONS. UPON COMPLETION OF THE SITE WORK, THE VILLAGES RESERVES THE ABSOLUTE RIGHT TO REVIEW THE FINISHED CONSTRUCTION AND TO DETERMINE WHETHER THE COMPLETED JOB MEETS THE APPROVED SUBMITTAL PLANS AND SPECIFICATIONS. THE PARCEL DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE VILLAGES TO SPECIFICALLY REQUEST A FINAL INSPECTION. ANY DEFICIENCIES FOUND BY THE VILLAGES WILL BE IDENTIFIED IN WRITING TO THE PARCEL DEVELOPER, WHO SHALL IMMEDIATELY TAKE ALL CORRECTIVE ACTION NECESSARY TO REMEDY ANY DEFICIENCIES. FINAL APPROVAL FROM THE VILLAGES SHALL BE OBTAINED PRIOR TO SUBMITTAL OF THE FINAL CERTIFICATION OF COMPLETION TO SUMTER COUNTY BY THE PROJECT ENGINEER.

THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN "THE VILLAGES CONSTRUCTION DETAILS MANUAL, DATED MAY 1, 2009", PREPARED BY GRANT & DZURO, OR AS AMENDED BY THESE PLANS.

NOTE: ELEVATIONS SHOWN WERE OBTAINED BY SURVEY AND ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.



CENTRAL SUMTER UTILITY COMPANY W.T.P.

POND NO.	TOP OF BANK	TOP OF LINER	BOTTOM	LOOYR
B-66	10.00	60.50	52.50	69.19
B-67	10.00	60.50	52.50	69.17
B-68	10.00	60.50	52.50	69.11



DATE	REVISIONS


**BARBEY & BARBEY**  
 ENGINEERS SURVEYORS AND PLANNERS  
 1450 N.E. 83rd Road O. Wintered, Florida 34785 O. (352) 748-3128  
 Certificate of Authorization Number: 4129

Central Sumter Utility Company *The Villages*  
 W.T.P. (SC-618U)  
**Master Development Plan**

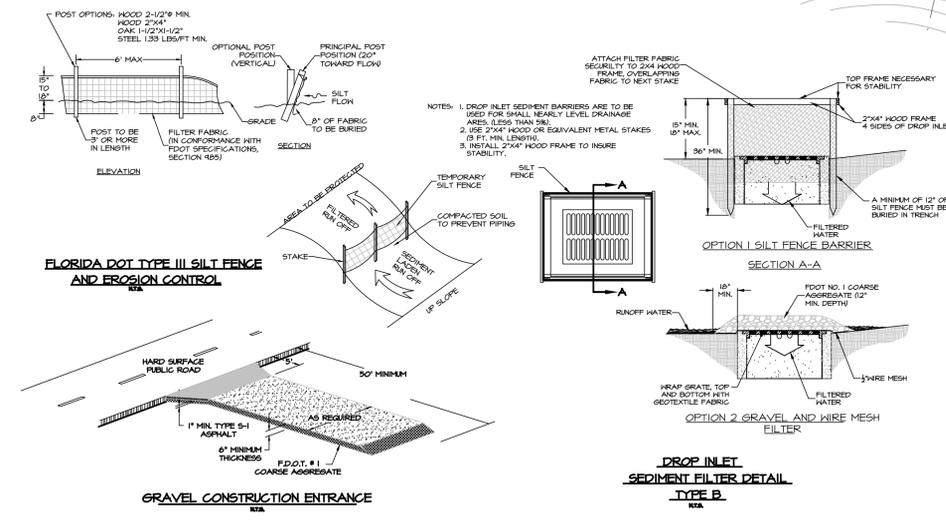
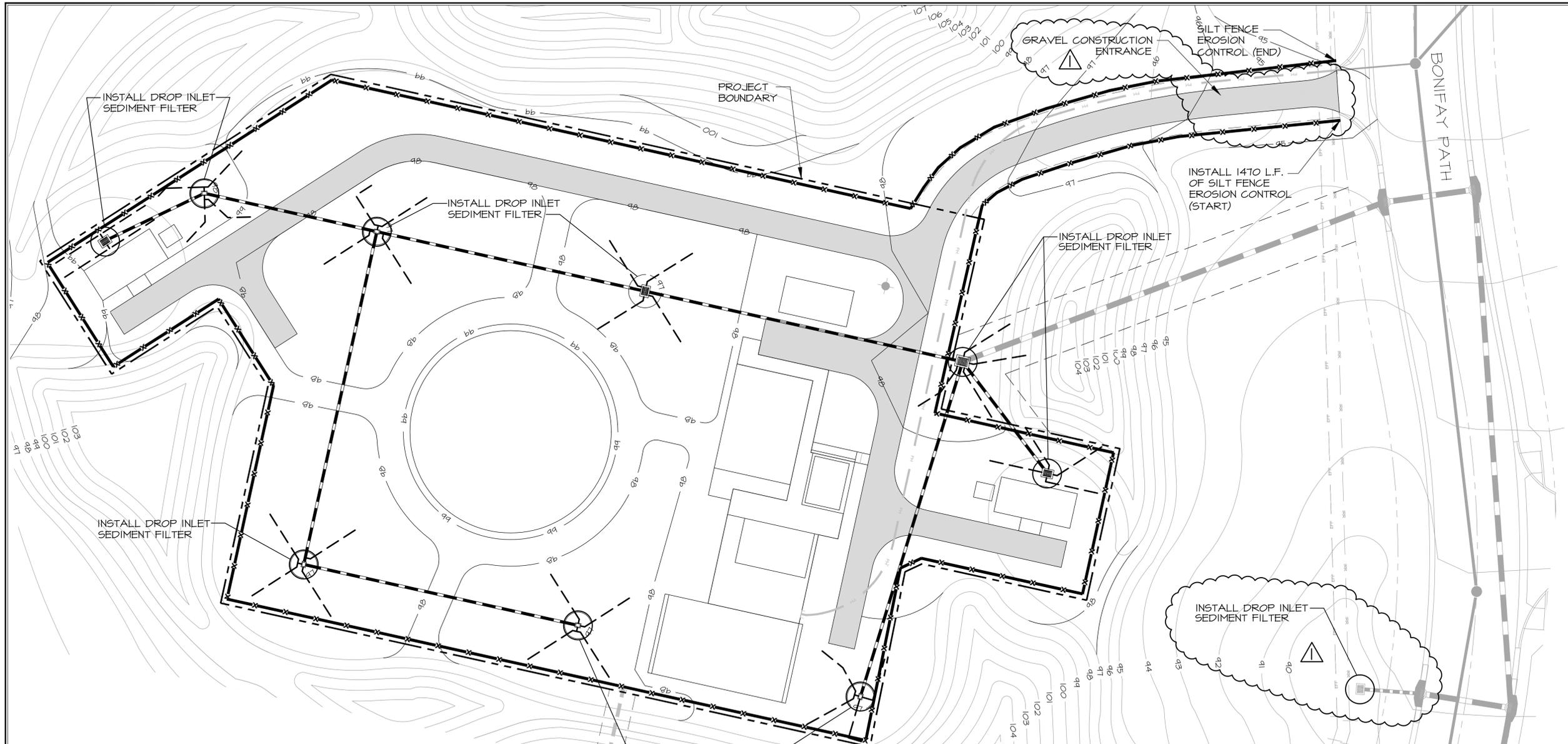
DATE 9-10-10  
 DRAWN BY MDW  
 CHKD BY WLC  
 FILE NAME 002.MDEV  
 JOB NO. 101027.0000







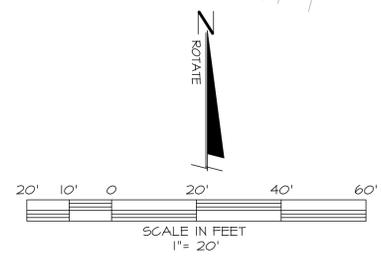




- LEGEND**
- PROJECT BOUNDARY
  - RIGHT OF WAY
  - - - - - SILT FENCE EROSION CONTROL
  - ..... EASEMENT

THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE EITHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.

1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
2. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY THE OWNER.
3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
9. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
10. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).
11. SILT FENCE TO REMAIN IN PLACE UNTIL FINISH GRADING FOR THE LANDSCAPING IS UNDER WAY.



LEE GLYMER, P.E.  
REGISTERED ENGINEER NO. 64780  
STATE OF FLORIDA

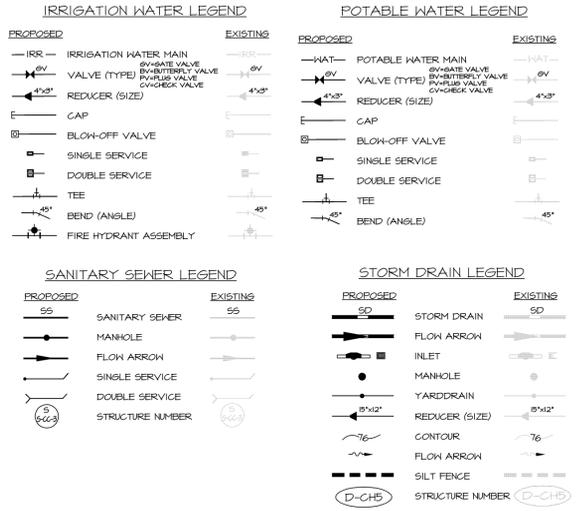
JOHN R. GRANT  
VICE PRESIDENT  
THE VILLAGES OF LAKE-SUMTER, INC.

DATE 10-24-10	REVISIONS	PER COUNTY REVIEW COMMENTS	M.F.F.
<b>FARNER BARBLEY AND ASSOCIATES, INC.</b> ENGINEERS SURVEYORS PLANNERS 4450 N.E. 83rd Road, O. Weewood, Florida 32795, O. (352) 748-3126 Certificate of Authorization Number: 4709			
<b>Central Sumter Utility Company The Villages W.T.P. (5C-618U)</b> Erosion Control Plan			
DATE 9-10-10 DRAWN BY MDW CHKD BY WLC FILE NAME EL EROSION JOB NO. 1010810000			
SHT. EL OF EL			









### CLEARANCE REQUIREMENTS

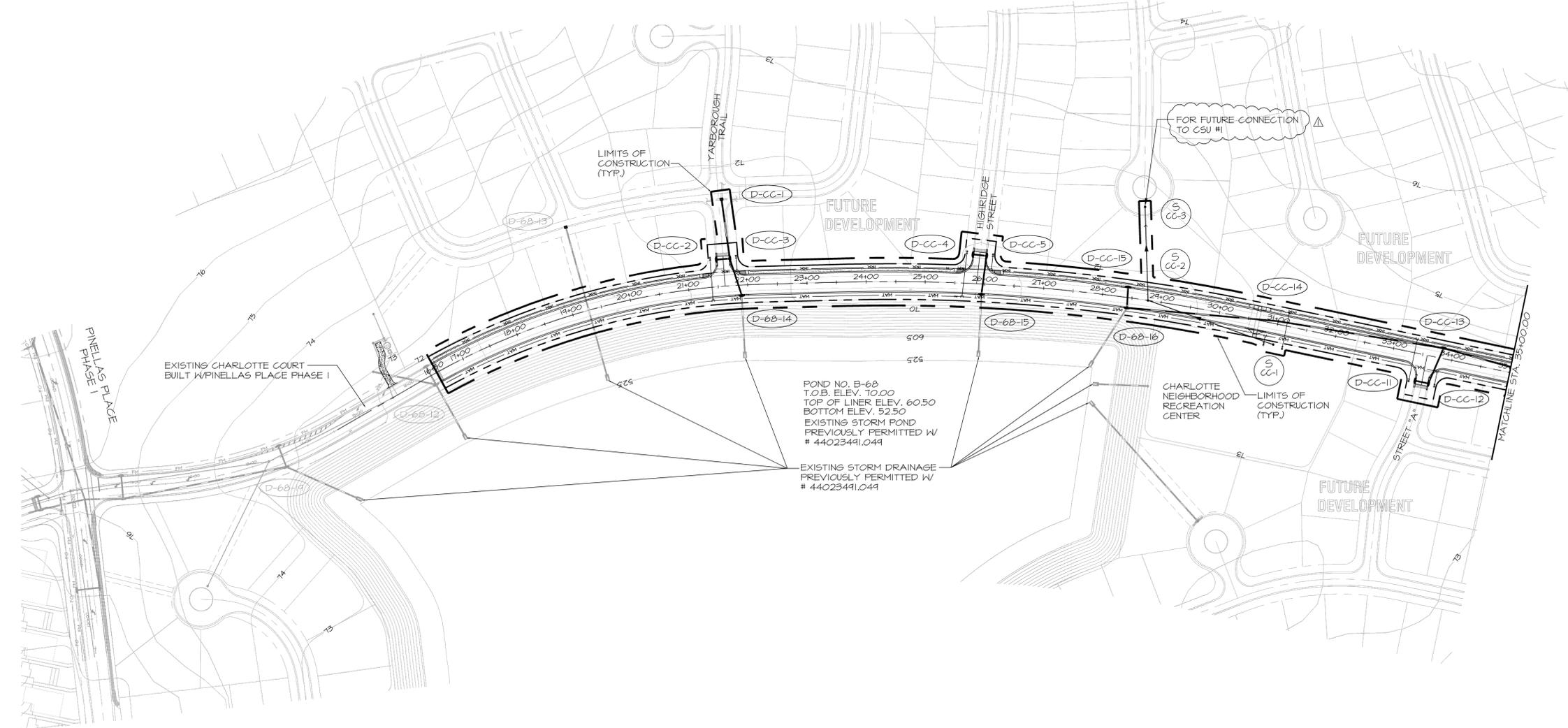
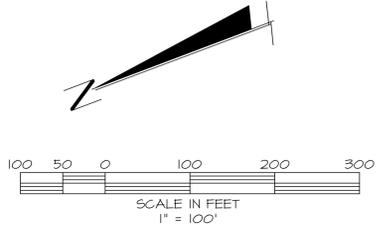
#### POTABLE WATER/SANITARY, STORM SEWER, RECLAIMED WATER AND NON-POTABLE IRRIGATION PIPING

**HORIZONTAL SEPARATION:** BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAIN, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

1. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
3. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
4. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 281.000(2), F.S., AND RULE 64E-6002, F.A.C.
5. WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN OTHER PIPELINES:
  - A. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-999.330, F.A.C. FOR THE OTHER PIPELINE IF IT IS GRAVITY-OR VACUUM-TYPE PIPELINE;
  - B. USE WELDED, FUSED OR OTHERWISE RESTRAINED JOINTS FOR EITHER WATER MAIN OR THE OTHER PIPELINE; OR
  - C. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASUREMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATER MAIN OR THE OTHER PIPELINE.

**VERTICAL SEPARATION:** BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAIN, RECLAIMED WATER PIPELINES.

1. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
3. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS 1 AND 2 ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORMSEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
4. SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES:
  - A. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E. HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASUREMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND
  - B. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E. HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASUREMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER.
5. WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:
  - A. NO WATER MAIN SHALL PASS THROUGH, OR COME IN CONTACT WITH, ANY PART OF A SANITARY MANHOLE.
  - B. WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.



NOTE: ELEVATIONS SHOWN WERE OBTAINED BY AERIAL PHOTO AND ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.

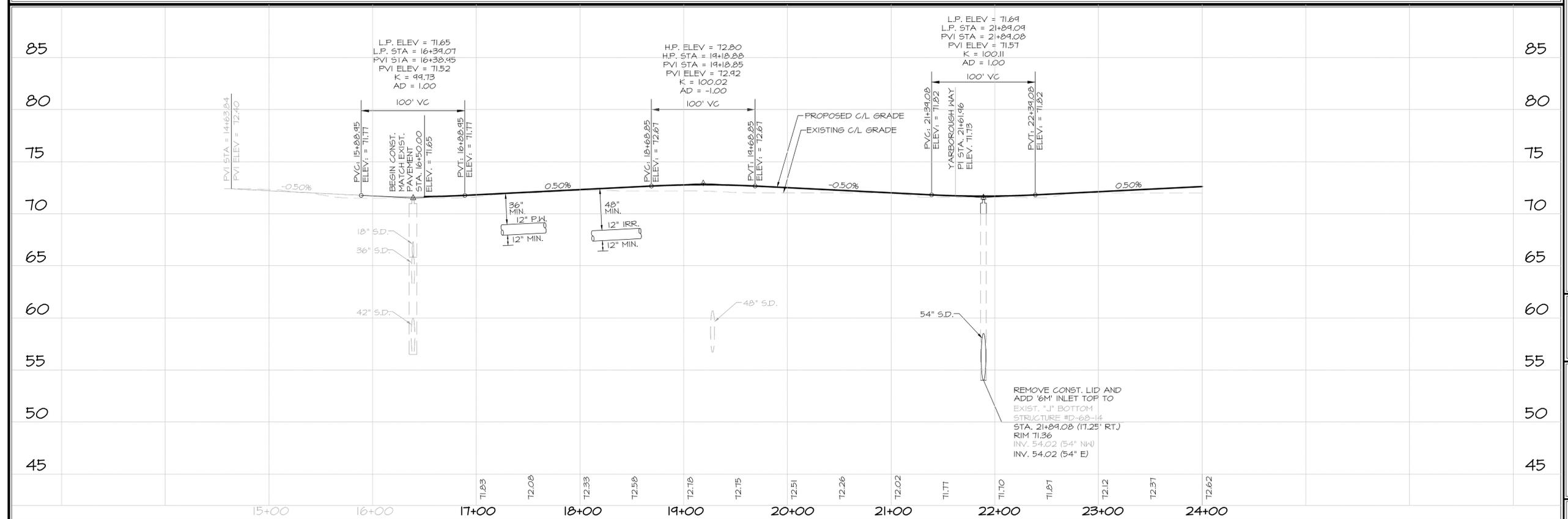
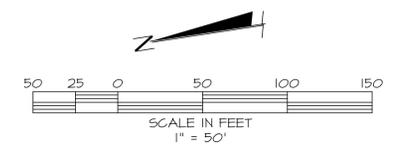
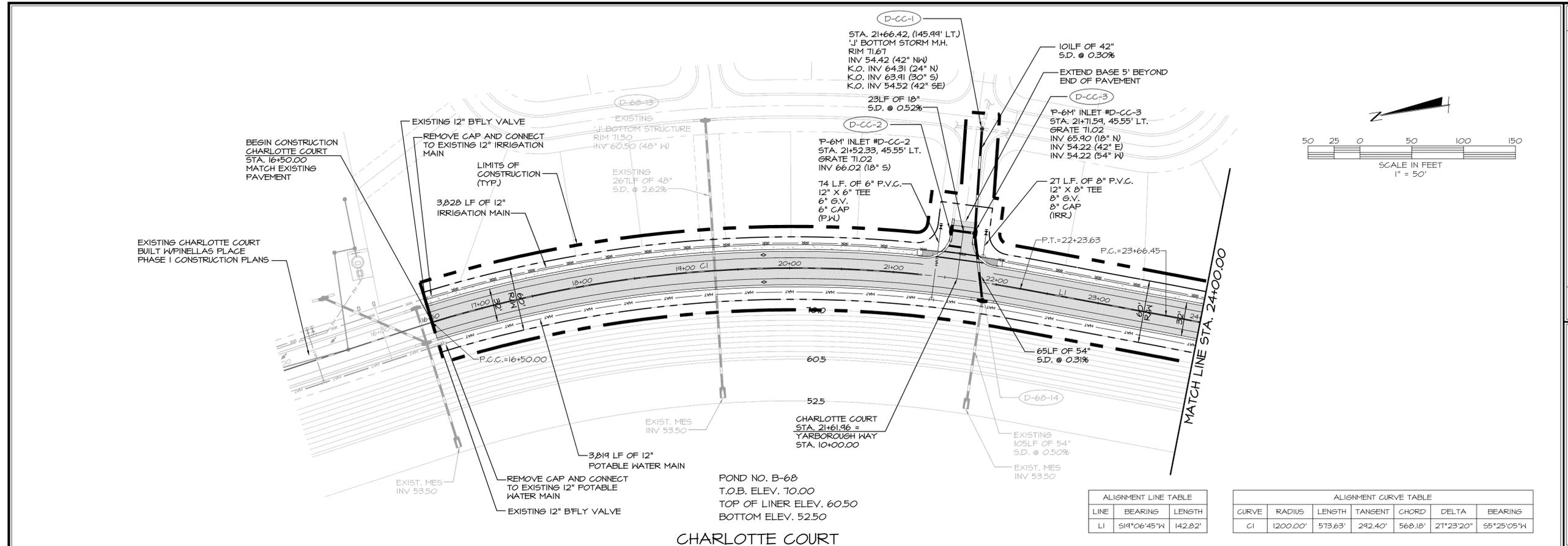
DATE	BY	REVISIONS
07/27/10		ADDED THE NAME OF THE FUTURE SANITARY SYSTEM TO THE INFO

**FARNER & BABLEY**  
ENGINEERS SURVEYORS AND PLANNERS  
Certificate of Incorporation Number: 4709  
4450 N.E. 83rd Road • Miami, Florida 33155 • (305) 748-5126

VILLAGES OF SUMNER  
CHARLOTTE COURT  
MASTER PLAN  
CHARLOTTE COURT

DATE 09-09-10  
DRAWN BY MJC  
CHKD BY WLC  
FILE NAME MASTER PLAN  
JOB NO. 921141.2038





BY \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

**FARNER & BARBLEY AND ASSOCIATES, INC.**  
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 Certificate of Authorization Number: 4709  
 4450 N.E. 83rd Road • Midwood, Florida 34768 • (352) 748-3126

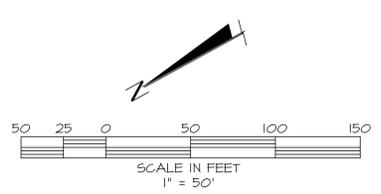
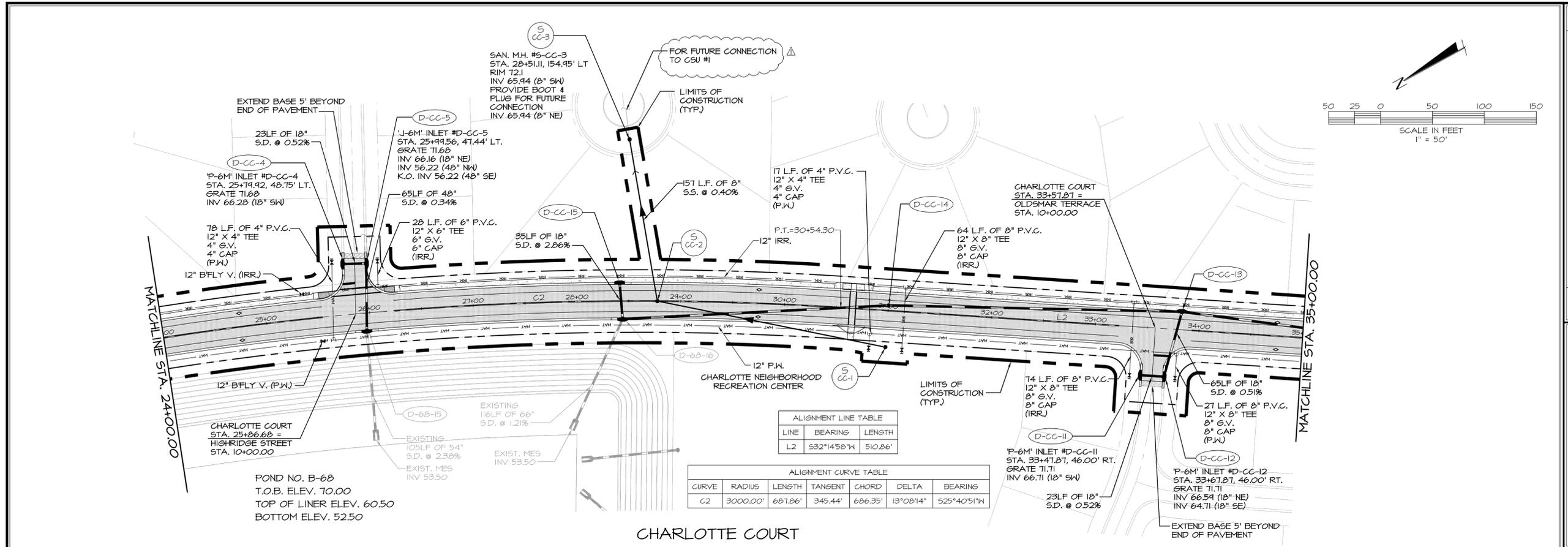
**The Villages**

VILLAGES OF SUMMER  
 CHARLOTTE COURT

**PLAN & PROFILE  
 CHARLOTTE COURT**

DATE: 8/23/10  
 DRAWN BY: MJC  
 CHKD BY: WLC  
 FILE NAME: 08210106  
 JOB NO. 921141.2038

SHT. 6 OF 10



ALIGNMENT LINE TABLE

LINE	BEARING	LENGTH
L2	S32°14'58"W	510.86'

ALIGNMENT CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA	BEARING
C2	3000.00'	687.86'	345.44'	686.35'	13°08'14"	S25°40'51"W

CHARLOTTE COURT

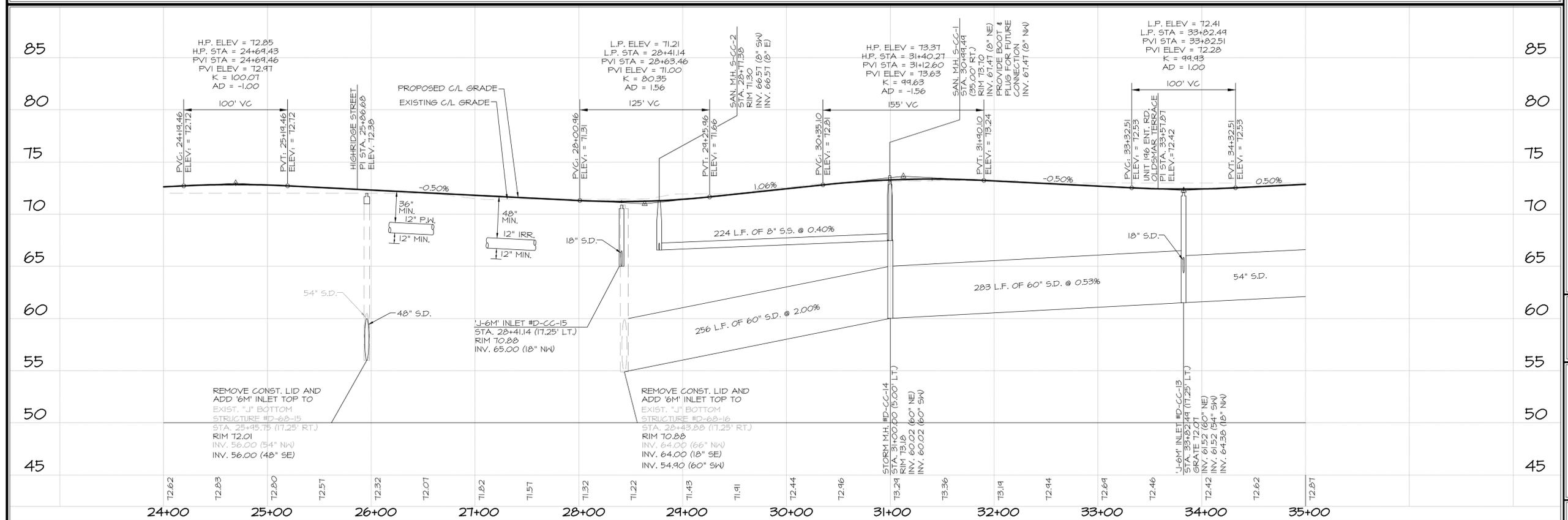
DATE: 02/24/10  
 REVISIONS:  
 02/24/10 ADDED THE NAME OF THE FUTURE SANITARY SYSTEM TO TIE INTO

BY:

ENGINEERS  
 SURVEYORS  
 PLANNERS

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 AND ASSOCIATES, INC.

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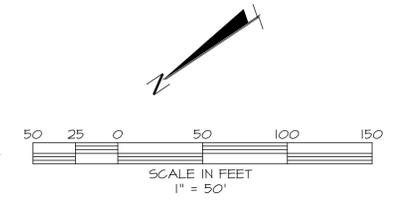
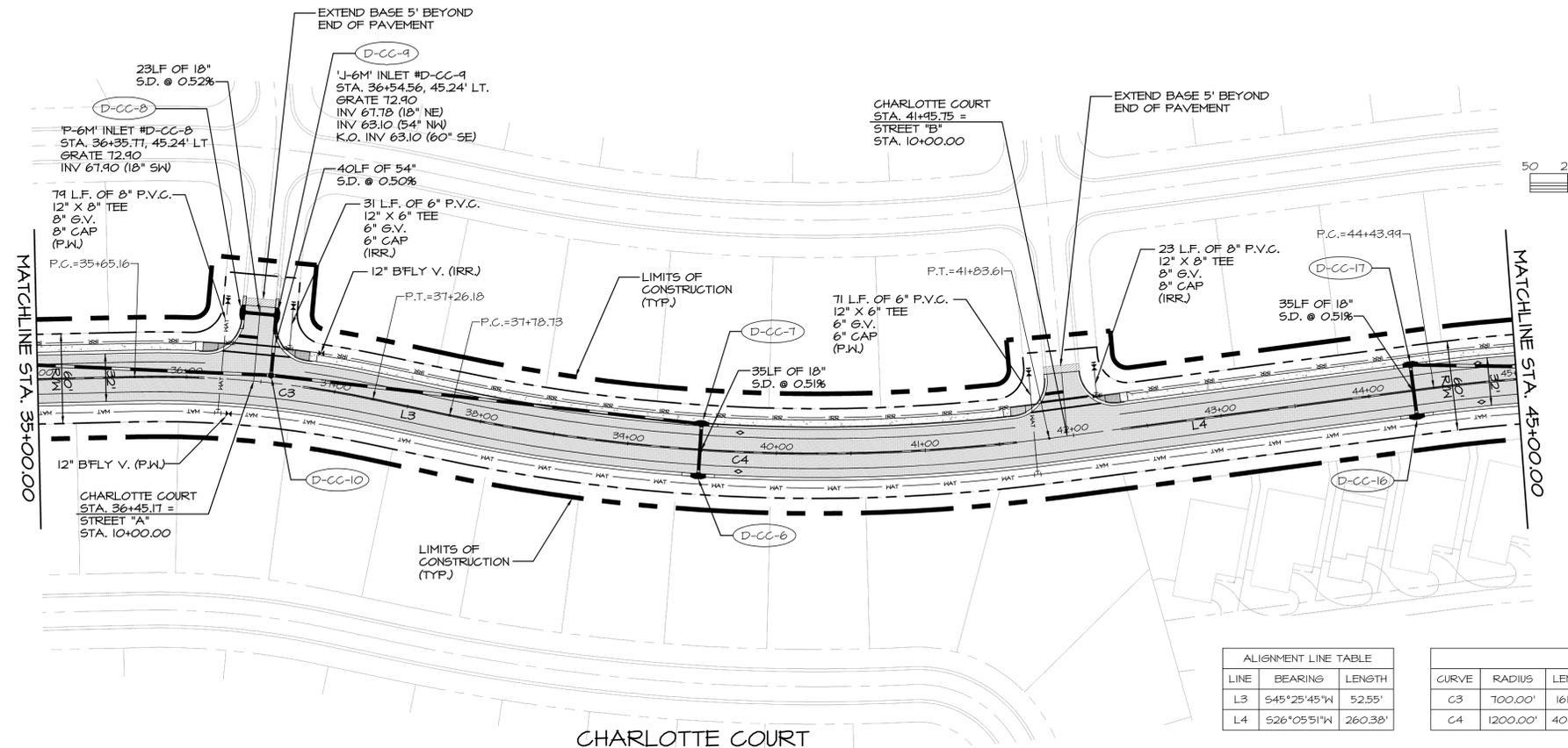
VILLAGES OF SUMNER  
 CHARLOTTE COURT

**The Villages**

PLAN & PROFILE  
 CHARLOTTE COURT

DATE: 8/23/10  
 DRAWN BY: MJC  
 CHKD BY: WLC  
 FILE NAME: 662206  
 JOB NO.: 921141.20326

SHT. 1 OF 10

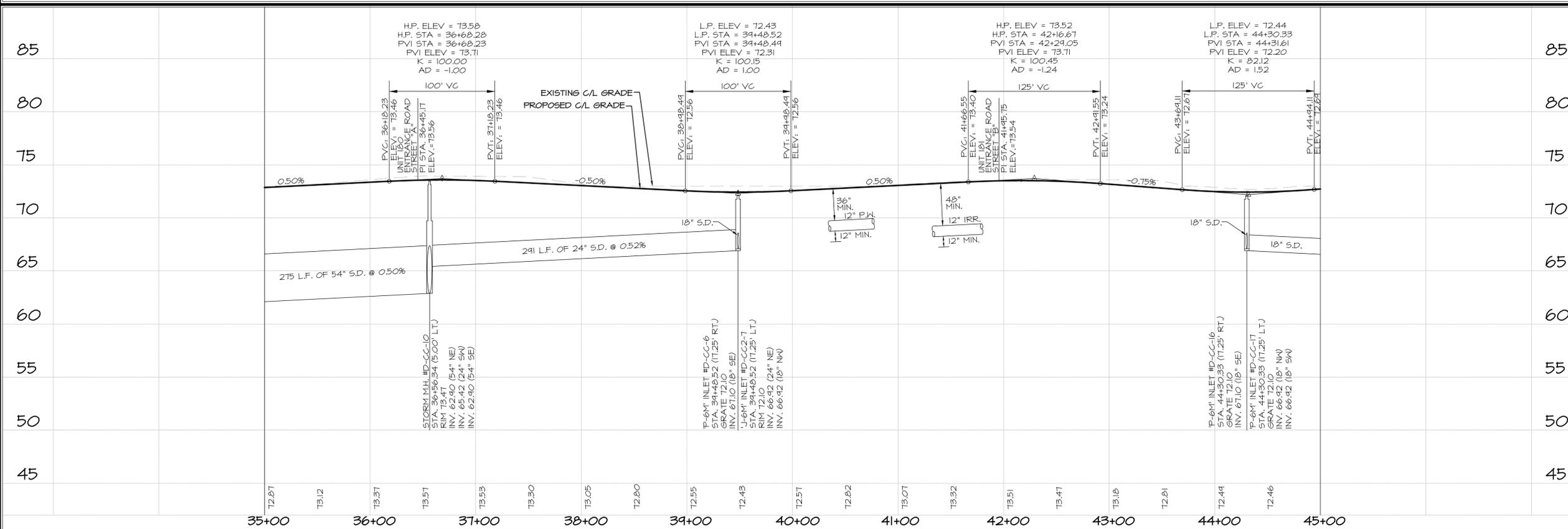


LINE	BEARING	LENGTH
L3	S45°25'45\"W	52.55'
L4	S26°05'51\"W	260.38'

CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA	BEARING
C3	100.00'	161.02'	80.81'	160.66'	13°10'46"	S38°50'21\"W
C4	1200.00'	404.88'	204.38'	402.96'	19°19'54"	S35°45'48\"W

CHARLOTTE COURT

BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
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**The Villages**  
 VILLAGES OF SUMNER  
 CHARLOTTE COURT  
**PLAN & PROFILE**  
 CHARLOTTE COURT  
 DATE: 8/23/10  
 DRAWN BY: MJC  
 CHKD BY: WLC  
 FILE NAME: 603206  
 JOB NO. 921141.20326  
 SHT. 8 OF 10

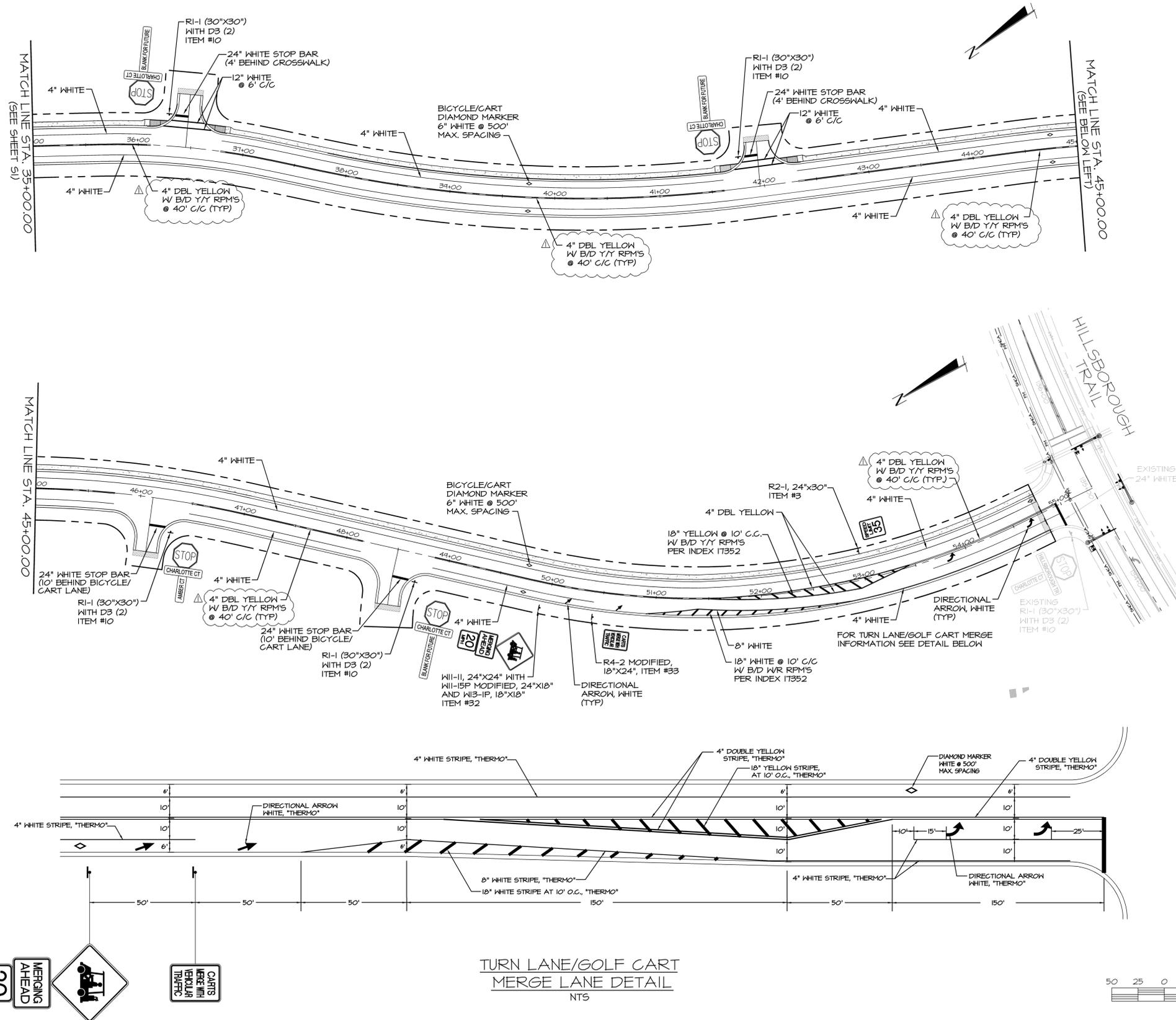








Nov 01, 2010 - 8:57am S:\SUMMER\SITE\PLANS\CHARLOTTE COURT\CIVIL\CONSTRUCTION\SSNG MKG.DWG By: mkec



TURN LANE/GOLF CART  
MERGE LANE DETAIL  
NTS



DATE	DESCRIPTION
10/27/10	REVISED 6\"/>

**FARNER & BARBLEY**  
 ENGINEERS SURVEYORS & PLANNERS  
 AND ASSOCIATES, INC.  
 1507 Buena Vista Boulevard • The Villages, Florida 32159 • (352) 752-3114

The Villages  
 VILLAGES OF SUMMER  
 CHARLOTTE COURT  
 SIGNING AND MARKING

DATE 09-24-10  
 DRAWN BY MJC  
 CHKD BY WLC  
 FILE NAME SSNG MKG.DWG  
 JOB NO. 921141.2038

